

PROCEEDINGS OF THE BOARD OF COUNTY COMMISSIONERS

Date: May 20, 2025

9:00 a.m.

Place: Commissioners Room, Courthouse, Caledonia, MN

Members Present: Cindy Wright, Eric Johnson, Kurt Zehnder, Bob Schuldt, and Greg Myhre

Others Present: Interim Auditor/Treasurer Polly Heberlein, Interim Administrator Carol Lapham, Fillmore County Journal Reporter Charlene Selbee, The Caledonia Argus Associate Editor Rose Korabek, Board Clerk/EDA Director Allison Wagner, Public Health and Human Services Director John Pugleasa, Environmental Services Director Amelia Meiners, Human Resource Officer Brent Parker, Community Health Worker Sue Felten, Public Health Supervisor Jordan Knoke, Public Health Educator Bri Ceaser, Financial Assistance Supervisor Karen Kohlmeyer, and Jerry Knutson

Presiding: Chairperson Johnson

Call to order.

Pledge of Allegiance.

Motion was made by Commissioner Wright, seconded by Commissioner Zehnder, motion unanimously carried to approve the agenda.

Motion was made by Commissioner Myhre, seconded by Commissioner Schuldt, motion carried unanimously to approve the meeting minutes from May 6, 2025.

Motion was made by Commissioner Zehnder, seconded by Commissioner Myhre, motion carried unanimously to approve the meeting minutes from May 13, 2025.

Public Comment:

None.

APPOINTMENTS

At 10:05 a.m. a motion was made by Commissioner Myhre, seconded by Commissioner Schuldt, motion unanimously carried to go into closed session pursuant to Minn. Stat. §13D.03, Subd. 1, (b) to discuss labor negotiations, including negotiation strategies or developments or discussion and review of labor negotiation proposals, conducted pursuant to sections 179A.01 to 179A.25. The Commissioners, Human Resources Officer Parker, and Interim Administrator Lapham attended the closed session. At 10:33 a.m. a motion was made by Commissioner Myhre,

seconded by Commissioner Schuldt, motion unanimously carried to go back into regular session. Commissioner Johnson said they had discussed labor negotiations, including negotiation strategies or developments or discussion and review of labor negotiation proposals, conducted pursuant to sections 179A.01 to 179A.25. No action was taken.

CONSENT AGENDA

Commissioner Zehnder moved, Commissioner Schuldt seconded, motion unanimously carried to approve the consent agenda. Commissioner Schuldt said good job for receiving the grant of \$2,000. Commissioner Johnson thanked Lori Feldmeier for her 21 years of service to the County. The Commissioners agreed with both comments. Approved items are below.

- 1) Change the employment status of Michael Boldt, Highway Maintenance Specialist, from probationary to regular, effective May 28, 2025.
- 2) Hire Sharen Lapham as a 67-day, temporary/casual Jury Attendant with wage based on the Jury Attendant Compensation Schedule.
- 3) Hire Margie Skauge as a 67-day, temporary/casual Jury Attendant with wage based on the Jury Attendant Compensation Schedule.
- 4) Accept the resignation/retirement of Lori Feldmeier, Lead Eligibility Worker, effective July 8th, 2025, with thanks for her 21 years of service to the residents of Houston County.
- 5) Initiate a competitive search for a 1 FTE Public Health and Human Services Department Lead Eligibility Worker (B25).
- 6) Initiate a competitive search for a 1 FTE Public Health and Human Services Department Eligibility Worker (B24).
- 7) Accept MDH WIC Equity in Lactation Grant award of \$2,000.00 to update our mother's room and support breastfeeding.

ACTION ITEMS

File No. 1 – Commissioner Zehnder moved, Commissioner Myhre seconded, motion unanimously carried to award Minnowa Construction for SAP 028-599-101 for the bridge replacement on Oakland Drive in Wilmington Township, in the amount of \$629,999.99. Three bids were received. Bids are below.

Letting
05/05/2025 10:00 AM CDT

Section Title	Line Item	Item Code	Item Description	Unit	Quantity	Engineer Estimate Unit Price	Extension	Minnesota Construction Inc. Unit Price	Extension	ICCN Constructors, LLC Unit Price	Extension	Brennan Construction Company Unit Price	Extension
SAP 028-599-101							\$679,000.00		\$679,000.00		\$679,000.00		\$679,000.00
	1	2091.501	MOBILIZATION	LUMP SUM	1	\$70,000.00	\$70,000.00	\$132,750.04	\$132,750.04	\$34,000.00	\$34,000.00	\$200,000.00	\$200,000.00
	2	2101.501	CLEARING AND GRUBBING	LUMP SUM	1	\$3,000.00	\$3,000.00	\$7,800.00	\$7,800.00	\$2,000.00	\$2,000.00	\$5,000.00	\$5,000.00
	3	2104.503	SALVAGE FENCE	LIN FT	115	\$5.00	\$575.00	\$10.00	\$1,150.00	\$3.00	\$345.00	\$10.00	\$1,150.00
	4	2106.507	EXCAVATION - COMMON (F)	CU YD	336	\$8.00	\$2,688.00	\$5.75	\$1,932.00	\$10.00	\$3,360.00	\$10.00	\$3,360.00
	5	2106.507	COMMON EMBANKMENT (CY)	CU YD	1292	\$18.00	\$20,672.00	\$11.75	\$15,181.00	\$15.00	\$19,380.00	\$20.00	\$25,840.00
	6	2118.609	AGGREGATE SURFACING SPECIAL	TON	74	\$35.00	\$2,590.00	\$20.00	\$1,480.00	\$35.00	\$2,590.00	\$50.00	\$3,700.00
	7	2211.509	AGGREGATE BASED CLASS 5	TON	557	\$35.00	\$19,495.00	\$16.25	\$9,051.25	\$35.00	\$19,495.00	\$20.00	\$11,140.00
	8	2211.609	AGGREGATE BASED CLASS 10	TON	619	\$35.00	\$21,665.00	\$16.25	\$10,058.75	\$38.00	\$23,522.00	\$20.00	\$12,390.00
	9	2260.506	TYPE SP 12.5 WEARING COURSE MIXTURE (2.8)	TON	15	\$150.00	\$2,250.00	\$460.00	\$6,900.00	\$150.00	\$2,250.00	\$150.00	\$2,250.00
	10	2401.503	TYPE 5 (CL-4) BARRIER CONCRETE (SS2) (P)	LIN FT	124	\$125.00	\$15,500.00	\$142.00	\$17,608.00	\$145.00	\$17,980.00	\$150.00	\$18,600.00
	11	2401.507	STRUCTURAL CONCRETE (3830) (P)	CU YD	70	\$1,050.00	\$73,500.00	\$1,100.00	\$77,000.00	\$1,300.00	\$91,000.00	\$1,200.00	\$84,000.00
	12	2401.508	REINFORCEMENT BARS (EPOXY COATED) (P)	POUND	22840	\$1.70	\$38,828.00	\$1.45	\$33,118.00	\$1.50	\$34,260.00	\$1.60	\$36,544.00
	13	2401.518	BRIDGE SLAB CONCRETE (HYHPC-M) (P)	SQ FT	1920	\$60.00	\$115,200.00	\$24.95	\$47,904.00	\$48.00	\$92,160.00	\$45.00	\$86,400.00
	14	2401.601	STRUCTURE EXCAVATION	LUMP SUM	1	\$20,000.00	\$20,000.00	\$12,000.00	\$12,000.00	\$24,000.00	\$24,000.00	\$35,000.00	\$35,000.00
	15	2401.601	SLOPE PREPARATION	LUMP SUM	1	\$10,000.00	\$10,000.00	\$5,200.00	\$5,200.00	\$7,000.00	\$7,000.00	\$10,000.00	\$10,000.00
	17	2402.502	FLOODWALL TYPE B FOR MODIFIED	EACH	1	\$1,500.00	\$1,500.00	\$2,500.00	\$2,500.00	\$3,000.00	\$3,000.00	\$2,000.00	\$2,000.00
	18	2402.502	EASTONIC BEARING PAD TYPE 1	EACH	8	\$300.00	\$2,400.00	\$200.00	\$1,600.00	\$250.00	\$2,000.00	\$150.00	\$1,200.00
	19	2402.508	STRUCTURAL STEEL (3306) (F)	POUND	470	\$8.00	\$3,760.00	\$6.50	\$3,055.00	\$8.00	\$3,760.00	\$15.00	\$7,050.00
	20	2405.503	PRESTRESSED CONCRETE BEAMS 27H (F)	LIN FT	244	\$375.00	\$91,500.00	\$360.00	\$87,840.00	\$420.00	\$102,480.00	\$500.00	\$122,000.00
	21	2433.502	REMOVE EXISTING SUBSTRUCTURE	EACH	2	\$5,000.00	\$10,000.00	\$5,000.00	\$10,000.00	\$10,000.00	\$20,000.00	\$5,000.00	\$10,000.00
	22	2442.501	REMOVE EXISTING BRIDGE	LUMP SUM	1	\$50,000.00	\$50,000.00	\$82,500.00	\$82,500.00	\$100,000.00	\$100,000.00	\$50,000.00	\$50,000.00
	23	2452.502	STEEL H-PILE 25 FT LONG 18"	EACH	2	\$4,500.00	\$9,000.00	\$2,200.00	\$4,400.00	\$6,500.00	\$13,000.00	\$2,500.00	\$5,000.00
	24	2452.502	PILE TIP PROTECTION 18"	EACH	10	\$200.00	\$2,000.00	\$200.00	\$2,000.00	\$250.00	\$2,500.00	\$200.00	\$2,000.00
	25	2452.503	STEEL H-PILE 18"	LIN FT	180	\$70.00	\$12,600.00	\$75.00	\$13,500.00	\$65.00	\$11,700.00	\$75.00	\$13,500.00
	26	2452.602	ROCK SOCKET	EACH	10	\$3,500.00	\$35,000.00	\$1,100.00	\$11,000.00	\$1.00	\$10.00	\$1,725.00	\$17,250.00
	16	2502.501	DRAINAGE SYSTEM TYPE (B916)	LUMP SUM	1	\$2,500.00	\$2,500.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$5,000.00	\$5,000.00
	27	2511.507	GRANULAR FILTER	CU YD	76	\$30.00	\$2,280.00	\$35.00	\$2,665.00	\$75.00	\$5,700.00	\$75.00	\$5,700.00
	28	2511.507	RANDOM RIPRAP CLASS B	CU YD	301	\$75.00	\$22,575.00	\$33.00	\$9,933.00	\$65.00	\$19,665.00	\$100.00	\$30,100.00
	29	2540.602	RELOCATE MAIL BOX SUPPORT	EACH	1	\$1,000.00	\$1,000.00	\$350.00	\$350.00	\$200.00	\$200.00	\$300.00	\$300.00
	30	2557.603	INSTALL FENCE	LIN FT	115	\$5.00	\$575.00	\$5.00	\$575.00	\$5.00	\$575.00	\$25.00	\$2,875.00
	31	2563.601	TRAMP FIC CONSOLE	LUMP SUM	1	\$1,500.00	\$1,500.00	\$1,050.00	\$1,050.00	\$1,600.00	\$1,600.00	\$1,600.00	\$1,600.00
	32	2573.503	SAFETY FENCE, TYPE MS	LIN FT	1,889	\$4.00	\$7,556.00	\$2.30	\$4,344.70	\$3.00	\$5,667.00	\$4.00	\$7,556.00
	33	2575.501	TURF ESTABLISHMENT	LUMP SUM	1	\$1,500.00	\$1,500.00	\$4,000.00	\$4,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00
	34	2575.504	ROLLED EROSION PREVENTION CATEGORY 3A	CU YD	94	\$25.00	\$2,350.00	\$22.00	\$2,078.00	\$75.00	\$7,050.00	\$36.00	\$3,384.00
	35	2575.504	ROLLED EROSION PREVENTION CATEGORY 20	SQ YD	1338	\$4.00	\$5,352.00	\$5.15	\$6,891.30	\$3.00	\$4,014.00	\$2.00	\$2,676.00
	36	2575.505	RAPID STABILIZATION METHOD 1	ACRE	0.4	\$1,200.00	\$480.00	\$2,200.00	\$880.00	\$1,000.00	\$400.00	\$2,500.00	\$1,000.00
	37	2577.507	ROOT RAP	CU YD	3	\$50.00	\$150.00	\$60.00	\$180.00	\$60.00	\$180.00	\$1,500.00	\$4,500.00
Base Bid Total:							\$679,000.00		\$679,000.00		\$679,000.00		\$679,000.00

File No. 2 – Commissioner Myhre moved, Commissioner Zehnder seconded, motion unanimously carried to accept LBRP funds for SAP 028-599-101 bridge project and authorize signatures adopting Resolution No. 25-11. (The total costs of the project would be \$629,999.99 with \$539,044.71 being covered by the Local Bridge Replacement Program (LBRP) from motor vehicle lease sales tax (MVLST) funds and \$90,955.28 being paid with the Regular Town bridge allotment and the Local Township funds. Resolution is below.

RESOLUTION 25-11

Local Bridge Replacement Program Grant Agreement Grant Terms and Conditions SAP 028-599-101 March 20, 2025

WHEREAS, Houston County has applied to the Commissioner of Transportation for a grant from the Minnesota State Transportation Fund related to Bridge No.L4543; and

WHEREAS, the Commissioner of Transportation has given notice that funding for this project is available; and

WHEREAS, the amount of the grant has been determined to be \$ 539,044.71 by reason of the lowest responsible bid;

NOW THEREFORE, be it resolved that Houston County does hereby agree to the terms and conditions of the grant consistent with Minnesota Statutes, section 174.50, and will pay any

additional amount by which the cost exceeds the estimate and will return to the Minnesota State Transportation Fund any amount appropriated for the project but not required. The proper county officers, the Houston County Board Chairman and the Interim Houston County Auditor/Treasurer are authorized to execute a grant agreement and any amendments thereto with the Commissioner of Transportation concerning the above-referenced grant.

File No. 3 – Commissioner Zehnder moved, Commissioner Wright seconded, motion unanimously carried to approve purchasing a used pressure washer from Express Pressure Washers Inc. Pogodzinski said the County typically rented a pressure washer and had an old pressure washer that could be traded in. He said in the long run purchasing the used pressure washer would save money. The cost with the trade in would be \$7,500.00.

File No. 4 – Commissioner Myhre moved, Commissioner Schuldt seconded, motion unanimously carried to accept donations to the Extension Tesmer Farm Safety Day for a total of \$2,050 from various businesses, individuals, and organizations. The Commissioners said the donations were much appreciated.

File No. 5 – Commissioners discussed with Sheriff Swedberg the possibility of making a County ordinance for “Special Use Vehicles”. Commissioner Zehnder said he was in favor of the ordinance, and that the City of Caledonia also had a similar ordinance. Sheriff Swedberg said if the ordinance were to be adopted people would need to register their “Special Use Vehicles” with the County in order to drive on County roadways. The Commissioners had reviewed a draft ordinance. The draft was similar to ordinances in surrounding counties such as Fillmore and Winona County. Sheriff Swedberg would advertise a public hearing to be held on June 24, 2025 at 9:30 a.m. on the matter. He would also be listed as the contact person for answering questions.

File No. 6 – Commissioner Schuldt moved, Commissioner Myhre seconded, motion unanimously carried to review and approve payments. Payments are below.

2025/05/08 AUDITOR WARRANTS:

VENDOR NAME	AMOUNT
MN COUNTIES INTERGOVERNMENTAL TRUST	16,729.00
	<u>16,729.00</u>

REVIEW LICENSE CENTER PAYMENTS**2025/05/12 AUDITOR WARRANTS:**

VENDOR NAME	AMOUNT
CEDA	7,285.33
HOUSTON COUNTY TREASURER	99,027.84
MN STATE TREASURER	3,940.50
NORTH COUNTRY CHEVROLET GMC	41,578.90
SAXON FLEET SERVICES	54,858.00
ST CHARLES/CITY OF	15,000.00
ST MARY'S UNIVERSITY GEOSPATIAL SERVICES	3,950.00
VERIZON WIRELESS	3,359.45
VISA	11,348.26
WABASHA COUNTY SWCD	11,411.21
	<u>251,759.49</u>
9 VENDORS PAID LESS THAN \$2000.00	3,844.03
	<u>255,603.52</u>
PUBLIC HEALTH & HUMAN SERVICES	9,980.05
	<u>265,583.57</u>

2025/05/20 COMMISSIONER'S WARRANTS:

VENDOR NAME	AMOUNT
ABILITY BUILDING COMMUNITY	2,179.44
ACENTEK	4,876.63
ACI	2,500.00
ADVANCED CORRECTIONAL HEALTHCAR	7,726.02
ARISTOTLE INSIGHT	7,674.45
BAYCOM INC	16,536.00
CALEDONIA OIL CO INC	4,950.00
CALEDONIA/CITY OF	12,772.74
CELLMATE FOOD SOLUTIONS INC	2,796.79
COMPUTER FORENSIC SERVICES LLC	48,301.41
CROELL REDI MIX INC	3,777.00
ENTERPRISE FM	12,933.71
ENTERPRISE FM TRUST CAR SALES	6,288.92
ESRI	7,192.00
KELLY PRINTING & SIGNS	3,715.93
MINNESOTA ENERGY RESOURCES	4,699.10
MNCCC	3,720.35
OFFICE OF MNIT SERVICES	3,658.30
REVIZE LLC	7,580.00
RICHARD'S SANITATION LLC	24,506.54
SKYLINE SALT SOLUTIONS	22,794.85
WEX BANK	6,903.12
	<u>218,083.30</u>
63 VENDORS PAID LESS THAN \$2000.00	27,451.88
	<u>245,535.18</u>
PUBLIC HEALTH & HUMAN SERVICES	292,959.51
	<u>538,494.69</u>

DISCUSSION ITEMS

Interim Administrator Lapham said the State would be going into a special session. Lapham said she was closely watching possible cost shifts on to taxpayers including any possible adjustments to County Program Aid (CPA).

The Commissioners discussed recent and upcoming meetings including a Root River One Watershed, WINLAC, Strategic Planning for Hiawatha Valley Mental Health, Department Head, CJC, and Solid Waste meeting.

Closing Public Comment:

Caledonia Argus Associate Editor Rose Korabek asked two questions. She asked if the old jail area was still needed as a recreation area if the Commissioners were to move from a temporary to full hold facility for juveniles. The Commissioners said that area would not be needed like it was once thought. Another smaller area could be used. She also asked about cannabis applicants in Houston County. Commissioner Johnson said an ordinance had been passed regarding cannabis retailers.

There being no further business, a motion was made by Commissioner Myhre, seconded by Commissioner Zehnder, motion unanimously carried to adjourn the meeting at 10:40 a.m. The next meeting would be a regular meeting on May 27, 2025.

BOARD OF COUNTY COMMISSIONERS

HOUSTON COUNTY, MINNESOTA

By: _____
Eric Johnson, Chairperson

Attest: _____
Carol Lapham, Interim Administrator



Date: May 27, 2025

To: Houston County Commissioners & Staff

From: Allison Wagner, Houston County EDA

RE: 2024 EDA Annual Report

Background: Present the Houston County EDA's 2024 Annual Report. (See attached.)

Action Required: None. For informational purposes only.

2024



HOUSTON COUNTY, MINNESOTA
ECONOMIC DEVELOPMENT AUTHORITY

ANNUAL REPORT

Presented By: Allison Wagner

houstoncountymn.com

Houston County Economic Development Authority

INTRODUCTION

In 2024, the Houston County Economic Development Authority (EDA) and our partners experienced significant growth. The EDA not only supported various business development initiatives but also launched a new housing initiative in partnership with local entities, while reinforcing existing programs such as the Houston County Childcare Initiative and the Bluff Country Collaborative (BCC). The BCC collaboration has matured into a robust alliance with local schools, businesses, and organizations across all Houston County School Districts.

Additional EDA efforts included staffing and promoting the Keep Company Co-Working Space, working on the expansion of the Root River Bike/Pedestrian trail, and engaging with the Houston Area Preservation Initiative. These achievements, alongside routine interactions with businesses and support for entrepreneurs, position Houston County as a leader in rural development. Thank you for your support and participation in 2024!



2024 HIGHLIGHTS

BUSINESS DEVELOPMENT

Approved three EDA loans totaling \$101,000 to Houston County Businesses

- **Administered a \$30,000 loan to Bryan Spier and Tracey Knutson, owners of 138 S. Kingston Street in Caledonia, MN**
 - **Total project cost: \$158,163**
 - **Funds were used to rehab the building for a new market and deli business called Frank and Julia's opening in 2025**
 - **The project will create two full time jobs and one part time job with the possibility of more in the future**
- **Administered a \$52,000 loan to Green Terrance Properties LLC, owners of 809 Cedar, Street in Houston, MN**
 - **Total project cost: \$520,000**
 - **Funds were used to purchase the building to operate an inn**
 - **The project retained one full time job**
- **Approved a \$19,000 loan to Root River Market Cooperative located at 119 East Cedar Street, Houston, MN**
 - **Total project cost: \$19,000**
 - **Funds will be used in 2025 to purchase a new walk-in freezer for the grocery business**
 - **The project retained two full time jobs and 13 part time jobs**



REVOLVING LOAN FUND

Summary as of December 31, 2024

Total Number of Active Loans:

13

Year End 2024 Cash on Hand Available to Lend:

\$413,001.24

Year End 2023 Cash on Hand Available to Lend:

\$441,293.71

Outstanding Principal 2024:

\$348,580.86

Outstanding Principal 2023:

\$321,990.76

Loan Investments in 2024:

Total Loan Investments:

\$101,000

Total Dollars Leveraged:

\$697,163

A YEAR IN REVIEW

ENTREPRENEURIAL EVENT

In July, the Houston County EDA partnered with Ignite MN and Caledonia Forward for an event aimed to support Houston County start-ups and expand businesses in the region. The event was held at the Four Season's Community Center in Caledonia and featured an entrepreneur guest panel including: Kristina Hauser from Studio M and Emerald Lane, Pete Gengler from Sno-Pac Foods, and Bryan Spier and Tracey Knutson from Frank and Julia's. The panel (all at different stages of their journey) shared the obstacles they had overcame, resources they had used, and opportunities they seized to achieve success.



Houston County, Minnesota



A Great Place to Start a Business!



BLUFF COUNTRY COLLABORATIVE

- **Continued work on the Bluff Country Collaborative (BCC), a partnership among Houston County EDA, Fillmore County EDA, area schools including all Houston County School Districts, over 100 businesses, Workforce Development Inc., Perkins Consortium, and SE Service Cooperative. This partnership aims to create work-based learning opportunities for local students. The effort looks to place students with local business experiential learning activities, creating valuable job experience, exposing them to career opportunities, and developing workforce pipelines for participating businesses.**
- **The BCC partners authored, competed on a national stage, and were awarded the Gen Z Grant.**
- **See attached BCC annual report.**

CHILDCARE INITIATIVE

- Continued to work with the Houston County Childcare Core Team and the partnership with Workforce Development Inc (WDI) to use a \$255,000 ARPA dollar investment by the Houston County Commissioners. The money is being used for training, grants, and to help educate on the need for childcare workers.
- Provided free required training to Houston County providers including a First Aid & CPR training in partnership with the City of La Crescent, and offered a fine motor skills development training.
- Had a field trip day where the Core Team toured a variety of facilities and models.
- Members from the Core Team attended career fairs and school events to help educate people about the field and create interest in childcare careers.
- Opened the Houston County Childcare Facilities Grant for current and new Houston County childcare businesses. So far, the grant has helped preserve 121 slots in the County, and helped create 10 news slots.
 - Cost Per Slot:
 - \$16k, preserve 121 slots
 - \$4k, 10 new slots
 - \$153 per slot

**Houston County,
Minnesota**



**A Great Place to
Live!**

HOUSING INITIATIVE

- Established a Houston County Housing Core Team in partnership with Houston County Public Health and many local partners including city leaders, local EDAs, Semcac, Habitat for Humanity, local realtors, and others to study and address housing needs in Houston County.
- Researched the possibility of setting up a Local Housing Trust Fund.
- Applied to and researched various grant opportunities.

FARMING INITIATIVE

- Continued work on a Houston County farming initiative to help farmers try new things both on and off the farm. The EDA's goal is to get to know farmers, develop plans based on their individual interests and needs, and help them adapt so that they can be successful.

HOUSTON AREA PRESERVATION INITIATIVE

- Continued to work with the Houston Area Preservation Initiative (HAPI).
- HAPI is a 501c3 organization whose purpose is to preserve historic property for use as community arts, culture, history, and educational areas for residents and visitors alike.
- Currently restoring and renovating 301 Maple Street in Houston, MN once the home of N. H. Forsyth one of the oldest homes in the City of Houston.
- HAPI has received a second State Historic Legacy Grant the next step in getting on the Historic Registry.

ROOT RIVER TRAIL EXPANSION

- Continued to work to expand the Root River trail system.
- The Committee applied to several grants in 2024.
- Inspired in part by the opening of the Wagon Wheel Trail Bridge in La Crescent, MN a Memorandum of Agreement to Jointly Cooperate was entered into between the County of Houston, City of La Crescent, City of Houston, and City of Hokah to support the planning and development of a trail system between the member entity communities for public use as a recreational trail. Each community in the MOA appointed two citizens to serve on a citizen's committee in 2022. La Crescent staff member Larry Kirch leads the meetings with help from Houston County EDA staff.

KEEP COMPANY CO-WORKING SPACE

- Continued to operate Keep Company Co-Working Space, a shared space with professional resources for local businesses.
- Entered into a partnership with Lansing Works a co-working space in Lansing, Iowa.
- This project started as a partnership between Houston County EDA, The City of La Crescent, and La Crescent Chamber. It was supported by all Houston County Chambers and businesses in each of Houston County's Communities. The project began when the La Crescent Chamber had an opportunity to expand its current space and offered to create a co-working space for entrepreneurs on weekdays during their regularly scheduled hours in part of their Chamber space.

2025 GOALS

- Strengthen partnerships with schools and continue Bluff Country Collaborative initiative
- Continue to work with farmers on farming initiative
- Continue working with the Childcare Core Team to address childcare needs in Houston County
- Explore housing needs in Houston County with the Houston County Housing Core Team
- Continue to look for grant opportunities for Houston County
- Continue working with various local and regional organizations, and various County departments
- Keep growing public awareness of the Houston County EDA
 - Convene with municipal EDAs
- Implement strategic marketing practices for Houston County and its communities
 - Provide support to local businesses and entrepreneurs
 - Carry out business retention visits and tours
 - Continue to offer business coaching
 - Host free technical assistance trainings and business workshops

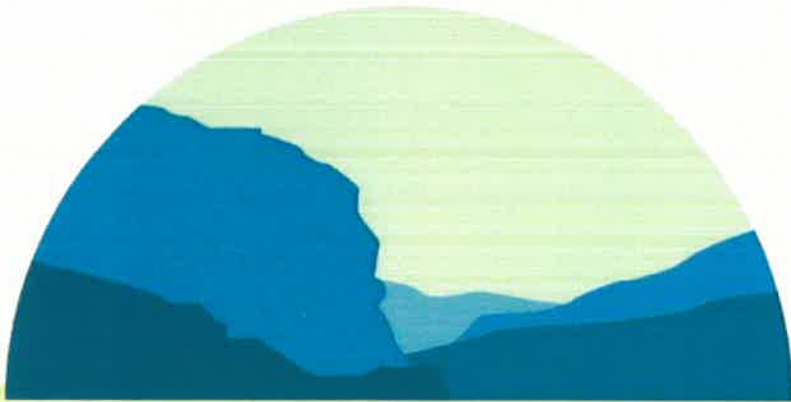
Houston County, Minnesota

A Great Place To

Spend a Weekend | Start a Business | Make Your Home!



THANK YOU!



HOUSTON COUNTY, MINNESOTA
ECONOMIC DEVELOPMENT AUTHORITY

CONTACT US :



(507) 725-5836



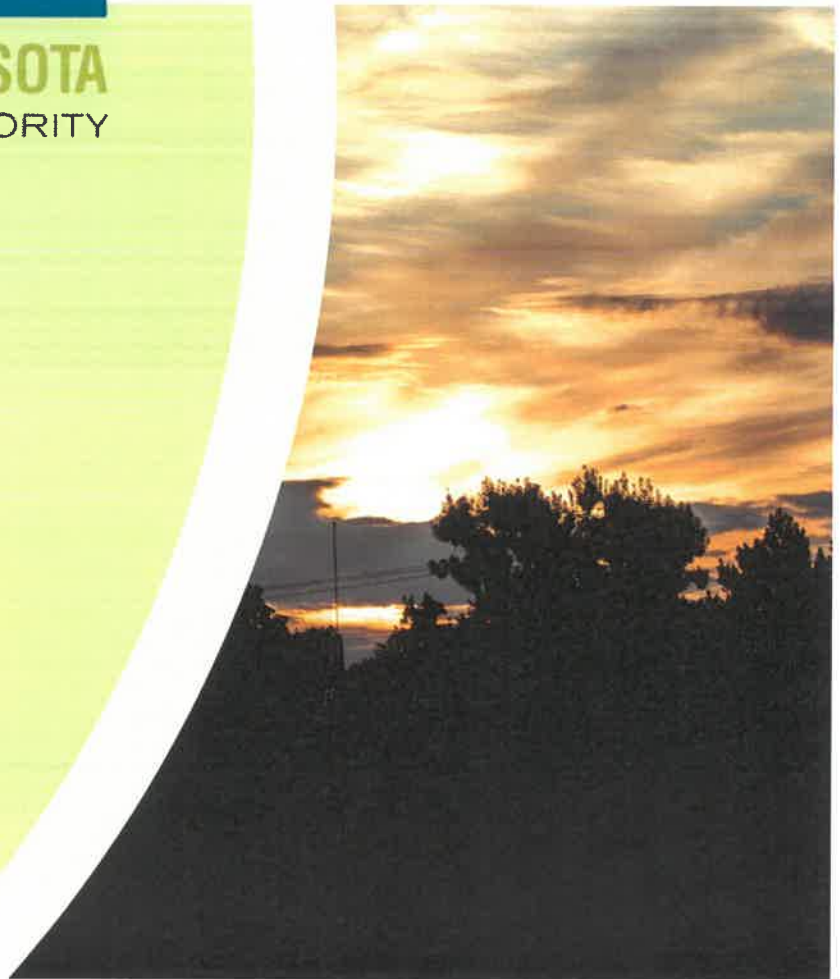
eda@co.houston.mn.us



<https://houstoncountymn.com>



304 S. Marshall St., Caledonia, MN





Bluff Country Collaborative



2023-24 ANNUAL REPORT

110 East Grove St.
Caledonia, MN 55921
www.bluffcountrycollaborative.org

Sustainable
Regional Partnerships.
Local Impact!

A Message From BCC Leadership

The Bluff Country Collaborative (BCC) experienced continued growth, engagement, and improvement in the 2023-24 academic year. Building on the momentum from 2022-23, with funding and support from nearly 200 area businesses, our Youth Workforce Navigator organized career exploration and skills development opportunities for more than 1,600 area junior high and high school students.

We invite you to explore our annual report and witness firsthand the positive impact of the BCC and the collaborative work we do.

Some 2023-24 Bluff Country Collaborative highlights include:

- **Presenting at the Minnesota Association of Workforce Boards (MAWB)** annual meeting in Duluth, MN, as part of a panel discussion around successful Workforce Development and Education partnership initiatives throughout the MN.
- **Selection as one of fewer than 80 second-round finalists in the national Career Z Challenge competition**, a cohort-based cooperative challenge, to apply for funding to expand work-based learning opportunities in school districts nationwide.
- **Interest and inquiry from several area School Districts in joining the BCC** to help maximize the CTE and career-connected learning opportunities for their students and communities.
- **Career and Technical Education (CTE) Exploration event held outdoors during the Fall Semester** where regional employers bring equipment, facilitate fun activities, and allow students to explore, engage, and experience CTE Careers in our communities.
- **Increased interest and attendance for Building and Construction Trades Panel Discussion** (Spring Semester), where students not planning to attend college can meet, learn about, and ask questions of local trade and Union Representatives.
- **Career Fair and Hiring Event for employers, students, and current job seekers** held during the spring semester, where employers can meet and engage with our future workforce and line up interviews.
- **Employer/Business Tours** that allow students to tour local business to see and experience firsthand the everyday internal operations of that industry.
- **Mock Interviews for juniors and seniors**, hosted by area industry and business professionals.
- **In-Class Speakers** that connected industry professionals in various career fields with students.

The Bluff Country Collaborative Leadership Team would like to express its sincere appreciation to BCC schools, businesses, partners, industry professionals, and students who helped make 2023-24 a success. We are excited to continue facilitating and developing career pathways, experiential learning, and employer engagement opportunities in the 2024-25 academic year for Fillmore and Houston Counties, and Southeast MN.

Gratefully,



Our Mission

The mission of BCC amplifies local and regional experiential learning efforts, ensuring that all students in Southeastern Minnesota receive a combination of education and experience in grades 7-12 needed to pursue a meaningful career and/or education pathway after high school graduation.

Sustainable & Collaborative Impact

"Mock interviews help me as much as, if not more than, the students. They allow me the chance try out different questions and figure out what today's youth are into, and how to connect with them in different ways; what resonates with them."

- Klayton Miner, CEO, Miners Underground

"We actually hired the student that I (mock) interviewed last year for an internship and he's coming back again this year. Thanks!"

- Derek Olinger, Bolton & Menk, Inc.



"Since 1958, we've built our business on family, hard work, and high standards, with the support of our community. BCC is important to us because it gives us the opportunity to give back to our community while connecting us with passionate, local youth that will continue to carry on our legacy and to make a great impact on the future of our industry."

- Megan Sobieski, Caledonia Haulers, Inc.

"It is an idea I have been incubating since before the pandemic. With the engine power of MaryAnne Smith, the Youth Workforce Navigator for the Bluff Country Collaborative and six willing area professionals including CPS alumni and parents of current students, this year my idea came to life."

- David Riley, English Teacher at Caledonia Area High School on collaborating with the BCC to host a Workplace Writing and Communication Workshop during regular morning class time.



"Houston Public Schools values its partnership with Bluff Country Collaborative because it offers opportunities to our students that they wouldn't otherwise have. The BCC coordinates and combines resources and career and technical educational opportunities to help us prepare all students in the BCC region for their future."

- Michael Mangan, Houston Public Schools

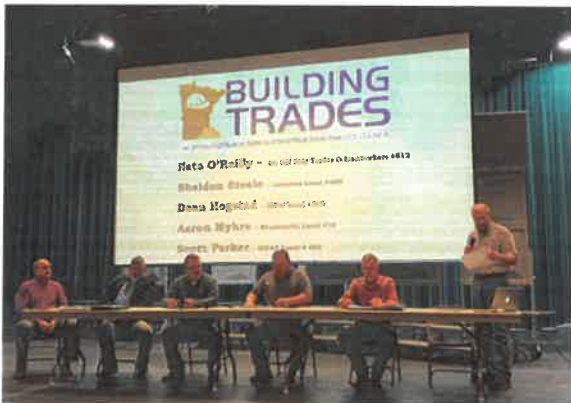
In 2023-24 BCC Students:

Explored Multiple Career Opportunities



	Number of Participant:		
	Students	Employers	Schools
CTE Exploration Day	556	32	5
Dream Job Event	358	37	5
Industry Tours	166	13	5
Total Careers Explored	1080	82	

Engaged and Learned from Industry Professionals



	Number of Participant:		
	Students	Employers	Schools
Careers on Campus (8th Grade)	252	15	6
Trade Panel/Assemblies	68	5	3
Classroom Speakers	22	1	1
Total Student Engagement	342	21	

* Houston Public Schools

Experienced Careers with Regional Businesses



	Number of Participant:		
	Students	Employers	Schools
Career Fair / Hiring Event	72	25	5
Job Shadows	28	24	1
Mock Interviews	145	54	4
Total Career Experiences	245	103	

Although the BCC may not directly coordinate Job Shadows and Work Experiences, it plays a vital role in leveraging its network of business and professional resources to connect area schools with local employers.

About Bluff Country Collaborative

In the summer of 2017, local economic development staff began speaking with businesses about the dire need for employees. These conversations revealed that regional employers wanted to engage with local students to build workforce pipelines but needed more connections to the schools and additional capacity to manage programs. Simultaneously, the SE Perkins Consortium was facilitating conversations with area school districts to discuss experiential learning opportunities. These school districts were eager to provide experiential learning opportunities for their students. Still, more community and business partner engagement was needed to offer opportunities and programming on a larger scale.

When economic development and education leaders met and realized they were working on the same issue, albeit from different perspectives, it was immediately apparent that an opportunity existed to create a "bridge" between schools and businesses. This new partnership ultimately formed the Bluff Country Collaborative, an innovative effort to connect business, education, and local government, and organizations committed to the region's economic sustainability.

Since 2017, the BCC has continued to expand in both membership and scope, enabling thousands of students in Fillmore County, Houston County, and the surrounding area to actively target and explore numerous career pathways and employment opportunities with local and regional employers, beginning as early as 7th grade.

2023-24 BCC Leadership Partners

Allison Wagner (CEDA)

Director, Houston County, MN
Economic Development Authority

Brian Cashman

Secondary Coordinator
Southeast Perkins Consortium

Chris Hahn (CEDA)

Director, Fillmore County, MN
Economic Development Authority

Dawn Lubahn

Director of Secondary Relations
Minnesota State College Southeast

Megan Horton

Regional Youth Programs Coordinator
Workforce Development, Inc.

MaryAnne Smith

Youth Workforce Navigator
Bluff Country Collaborative

Mike Schnell

Career Connected Learning Specialist
Southeast Service Cooperative

Sarah Ness

Program Manager
Southeast Service Cooperative

"Ensuring the economic vitality of rural communities in Houston and Fillmore Counties by connecting schools, employers, local government, and community resources in an effort to provide meaningful, hands-on experience to the next generation of workers."

The Youth Workforce Navigator Role

The role of Youth Workforce Navigator provides a vital connection between area schools and local employers. Through a visible presence within each of the partner school districts, the Youth Workforce Navigator's primary focus is working with teachers and administrators to help identify and coordinate experiential learning opportunities for area students relevant to community workforce needs.

Since 2020, MaryAnne Smith, has served as the BCC Youth Workforce Navigator. An ag and math educator by profession, MaryAnne is also a certified Teacher Coordinator of Work Based Learning, making her uniquely qualified for this work. She understands first-hand the needs and challenges area students, teachers and administrators encounter related to career exploration, career pathway development, and engagement opportunities.

As the Youth Workforce Navigator, MaryAnne spends approximately 30 percent of her time at partner schools developing close working relationships with teachers and administrators, listening to their needs, and connecting them with area businesses. This physical presence also allows MaryAnne to quickly identify opportunities to collaborate with other schools with similar needs, maximizing participation for events like CTE Exploration Day, Trade and Industry Panel Discussions or Industry Tours.

As a result of her excellent work as the BCC Youth Workforce Navigator, MaryAnne Smith was named a **2022 Rising Star under 40** by the 7 Rivers Alliance, Tri-state Leadership Council.

BCC Partner School Districts



Caledonia, MN



Houston, MN



La Crescent - Hokah



Lewiston-Altura



Mabel-Canton



Rushford- Peterson



Spring Grove, MN

2023-24 Funding Sources

Platinum Partners



Gold Partners



Arlin Falck
Foundation



Silver Partners

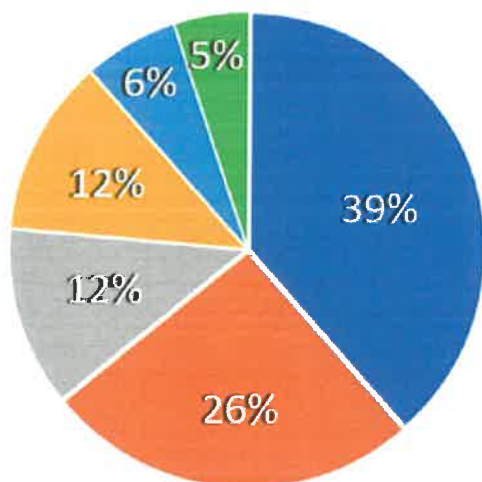


Bronze Partners

AMS Micromedical
Caledonia Veterinary Clinic

Sno Pack Foods
Mark & Elizabeth Dokken

2023-24 Funding Sources



- Youth Service Training Grant
- Southeast Service Cooperative
- Community & Foundation Grants
- Perkins Grant Funding
- Regional Business Partners
- Partner School Districts

For more information on the Bluff Country Collaborative, Career Engagement Events in your area, or how your business or organization can become involved in preparing Southeastern Minnesota's future workforce, please visit our website at www.BluffCountryCollaborative.org, or contact MaryAnne Smith, BCC Youth Workforce Navigator at bccnavigators@gmail.com or 507-251-4388.

**HOUSTON COUNTY
AGENDA REQUEST FORM
May 27, 2025**

Date Submitted: 5/16/2025

By: Mark Olson, Emergency Management Director

ACTION REQUEST:

- **Requesting the board review and approve the joint powers agreement for Region One Southeast Minnesota Homeland Security Emergency Management**

CONSENT AGENDA REQUEST:

NONE

<u>Reviewed by:</u>	<input type="checkbox"/> HR Director	<input checked="" type="checkbox"/>	County Sheriff	
	<input type="checkbox"/> Finance Director	<input type="checkbox"/>	County Engineer	
	<input type="checkbox"/> IS Director	<input type="checkbox"/>	PHHS	
	<input checked="" type="checkbox"/> County Attorney	<input type="checkbox"/>	Other	
	<input type="checkbox"/> Environmental Svcs	<input type="checkbox"/>	(indicate dept)	
<u>Recommendation:</u>				
<u>Decision:</u>				

**JOINT POWERS AGREEMENT
REGION ONE - SOUTHEAST MINNESOTA
HOMELAND SECURITY EMERGENCY MANAGEMENT**

1. **Name.** The parties hereby establish a joint powers entity to govern the mutual aid arrangements for homeland security and emergency management among the political subdivisions located in Region One of the State of Minnesota. Such entity shall be known as the Southeast Minnesota Homeland Security and Emergency Management Organization (SERHSEM) and shall be governed by a joint powers board pursuant to Minnesota Statutes Sections 12.27 and 471.59.
2. **Parties.** The parties to this agreement shall consist of as many of the following entities that approve this agreement and execute a separate signature page to become parties:

County of Blue Earth
County of Dodge
County of Faribault
County of Fillmore
County of Freeborn
County of Goodhue
County of Houston
County of Le Sueur
County of Mower

County of Nicollet
County of Olmsted
County of Rice
County of Steele
County of Wabasha
County of Waseca
County of Winona
Prairie Island Indian Community
City of Rochester

3. **Purpose.** The purpose of this agreement is to provide for the joint exercise of the parties' powers requiring regional coordination to plan for the needs of the SERHSEM. The joint exercise of the parties' powers pursuant to this agreement is intended to supplement and complement but not supplant the parties' individual powers of planning and coordination expenditure of funds, training, and purchasing. The parties desire to establish a mechanism whereby they may jointly exercise said powers common to each party on issues requiring regional coordination including, but not limited to, planning, training, and purchasing equipment for coordinated response to emergencies and natural or other disasters within the SERHSEM Region; and (b) allocating emergency services and staff in the event of an emergency or natural or other disaster within the SERHSEM Region.
4. **Representation and Governance.** Each party to this agreement is entitled to a representative at all Board meetings. Voting on items of interest (as outlined in paragraph 3) will be held at Board meetings, as outlined in the By- laws. Board members will perform governance functions, as outlined in the By- laws.
 - 4.1. *Governing Board.* The governing board formed pursuant to this Joint Powers Agreement shall be known as the Board.
 - 4.1.1. *Membership and Representation.* The Board shall be constituted as follows: one (1) member designated by each party. Each party shall appoint

one member and one alternate. Each party shall be responsible for appointing replacements as consistent with their administrative appointment policies.

4.1.2. *Documentation.* Resolutions or other documentation of designation shall be filed with the individual parties as well as with the Board.

4.1.3. *Members not Employees.* Members of the Board shall not be deemed to be employees of the Board and will not be compensated for serving on the Board. For all purposes, including workers compensation, each member of the Board shall be considered to be an employee of the party who appointed the member.

4.1.4. *Ex Officio Members.* The Board may designate ex officio members to serve on the Board. Such members shall be non- voting, will not be counted for quorum purposes, will not be eligible to serve as an officer of the Board and are ineligible to attend any Board meeting closed pursuant to Minn. Stat. Ch. 13D.

4.1.5. *Ad Hoc or Sub-committees.* The SERHSEM may request as necessary party representatives to form ad hoc, sub-Board and/or oversight committees. The members of these ad hoc or sub-committees will be appointed by the Chair/Vice Chair of the Board to serve as a member of an ad hoc or sub-committee. Ad hoc or sub-committees will be used solely as advisory groups to the Board to determine action, votes or direction for the Board. Ad hoc or sub-committees may be asked to work with contractors in advisory roles for the Board.

4.1.6. *Meetings.* The Board shall comply with the requirements of Minn. Stat. Ch. 13D (Open Meeting Law). The Board shall have regular meetings at such times and places as the Board shall determine and shall give notice pursuant to Minn. Stat. section 13D.04, subd. 1. Special meetings may be held on reasonable notice by the Board pursuant to Minn. Stat. section 13D.04, subd. 2. Emergency meetings may be held and notice given pursuant to Minn. Stat. section 13D.04, subd. 3.

4.1.7. *Quorum and Voting.* A quorum shall consist of no less than 51% of members or alternates eligible to vote. No action may be taken unless a quorum is present. Board action shall be determined by a majority of the votes cast at the meeting.

4.2. *By-Laws.* The Board may adopt bylaws to govern its operation. Such bylaws shall be consistent with this agreement and applicable laws.

5. **Duties of the Board.** The Board shall formulate a program to carry out its purposes pursuant to Paragraph 3.

6. **Reservation of Authority.** All responsibilities not specifically set out to be jointly

exercised by the Board under this agreement are hereby reserved to the parties and each of them. Nothing in this agreement shall act as a waiver by a participating party of its individual power and legal authority to provide the services contemplated for this agreement as outlined in the Purpose Section 3 above.

7. Powers of the Board.

7.1. *General Powers.* The Board is hereby authorized to exercise such authority and powers common to the parties as is necessary and proper to fulfill its purposes and perform its duties. Such authority shall include the specific powers enumerated in Paragraph 7.2.

7.2. *Specific Powers.*

7.2.1. *Contracts.* The Board may enter into any contract necessary or proper for the exercise of its powers or the fulfillment of its duties and enforce such contracts to the extent available in equity or at law. Contracts let and purchases made pursuant to this agreement shall conform to the requirements applicable to contracts and purchases of the fiscal agent of the Board. The Board may approve any contract relating to this agreement up to the amounts of the grant agreements and may authorize the Chair or Vice Chair to execute those contracts.

7.2.2. *Funds.* The Board may disburse funds in a manner that is consistent with this agreement and with the method provided by law for the disbursement of funds. All funds shall be accounted for according to generally accepted accounting principles.

7.2.3. *Gifts and Grants.* The Board may apply for and accept gifts, grants or other property or assistance from the United States government, the State of Minnesota, any tribal government, or any person, association, or agency for any of its purposes; enter into any agreement in connection therewith; and hold, use and dispose of such money or other property and assistance in accordance with the terms of the gift or grant relating thereto, and in accordance with all applicable laws, rules and regulations relating to the acceptance of gifts or grants by the parties.

7.2.4. *Fiscal Agent.* The Board shall appoint one of the parties to act as fiscal agent. Such fiscal agent shall provide any and all budgeting and accounting services necessary or convenient for the Board, including applying for grant funding in accord with Section 8 herein. The chief financial officer of the party so appointed, or his designee, shall act as comptroller for the Board and shall draw warrants to pay demands against the Board when the demands have been approved by the Board pursuant to Paragraph 7.2.1 above. The fiscal agent shall not advance pass through or expense reimbursement grant funds to any parties. The parties acknowledge that if grant terms require provision of documentation by the

fiscal agent for any purpose including securing reimbursement from the grantor, the receiving party must provide the documentation to the fiscal agent on the schedule established by the fiscal agent so that sufficient processing time is available to pass the information through to the grantor. The fiscal agent will make reasonable efforts to gather and pass on required documentation, but staff absences or workload may delay this process. The fiscal agent will not be responsible for any interest or fees due to delayed pass through of funds which result from receiving party's failure to provide documentation on a timely basis. The fiscal agent will be not responsible for requesting, editing, reviewing, changing, or verifying any information provided to it by a receiving party for a grant unless agreed to in writing in advance by the fiscal agent. The Board member representing the party appointed as fiscal agent shall provide financial reports at each meeting of the Board.

7.2.5. *Legal Authority.* The Board may contract with any of its parties to serve as legal authority for the Board and act as advisor for contracts and grant matters for the Board.

7.2.6. All powers granted herein shall be exercised by the Board in a fiscally responsible manner and in accordance with the requirements of law.

8. **Budgeting and Funding.**

8.1. *Expenses, Dues, Accountability.* The parties understand and acknowledge that the activities and duties of the Board are to be funded first by grant monies from the federal government, state government or other associations and agencies. Dues may be assessed on new parties, or as outlined in the By-laws. All funds shall be accounted for according to generally accepted accounting principles. A report of all receipts and disbursements shall be forwarded to the parties monthly and on an annual basis.

8.2. *Federal and State Grant Funds Available to Parties.* The parties understand and acknowledge that federal and state grant funds have been and may continue to be made available for the purposes of improving and enhancing local government units' capabilities in responding to the occurrence of large-scale disasters or emergencies. The parties further understand and acknowledge that some such federal and state grant funds may be made available directly to county parties with the intention that the funds be expended for the benefit also of jurisdictions within the county. The Board will expend any such funds only in accordance with the terms of any applicable grant agreement, approved budget, laws and rules. This paragraph does not prohibit any party from unilaterally applying for, receiving and expending grant funds made available for the purposes identified in this paragraph.

9. **Liability, Indemnification and Hold Harmless, and Insurance.** This section shall survive termination of this agreement or a party's withdrawal from the agreement.

9.1. *Applicability.* The SERHSEM shall be considered a separate and distinct public entity to which the parties have transferred all responsibility and control for actions taken pursuant to this agreement. The SERHSEM shall comply with all laws and rules that govern a public entity in the State of Minnesota and shall be entitled to the protections of Minn. Stat. Ch. 466.

9.2. *Indemnification and Hold Harmless.* The SERHSEM shall fully defend, indemnify and hold harmless the parties against all claims, losses, liability, suits, judgments, costs and expenses by reason of the action or inaction of the Board and/or employees and/or the agents of the SERHSEM. This agreement to indemnify and hold harmless does not constitute a waiver by any party of limitations on liability provided under Minn. Stat. section 466.04.

To the full extent permitted by law, actions by the parties pursuant to this agreement are intended to be and shall be construed as a "cooperative activity" and it is the intent of the parties that they shall be deemed a single governmental unit for the purpose of liability, as set forth in Minn. Stat. section 471.59, subd. 1a(b). Pursuant to that statute, the parties to this agreement expressly decline responsibility for and are not liable for the acts or omissions of the other parties to this agreement except to the extent to which they have agreed in writing to be responsible for acts or omissions of the other parties, subject to the sole exception set forth below.

9.3. *Insurance.* The Board shall obtain such insurance it deems necessary to indemnify the Board and its members for actions of the Board and its members arising out of this agreement, distinct from insurance which may be provided by each party, and consistent with the risk exposure of the Board under the state tort liability limits found in Minn. Stat. Ch. 466.

9.4. *Property Insurance.* The Board must obtain insurance covering any property acquired by the Board which is not subsequently passed through to the parties.

10. **Term.** The Board shall be constituted and the term of this agreement shall commence upon approval and signature of the entities listed in Paragraph 2. This agreement shall continue unless terminated as set forth in Section 11 herein. The terms of the agreement shall be reviewed in every calendar year ending in either a zero (0) or a five (5).

11. **Withdrawal and Termination.**

11.1. *Withdrawal.* Any party may withdraw from this agreement upon ninety (90) days written notice to the other parties. Withdrawal by any party shall not terminate this agreement with respect to any parties who have not withdrawn. Withdrawal shall not discharge any liability incurred by the withdrawing party prior to its notice of withdrawal. Such liability shall continue until discharged by law or agreement. The withdrawing party shall not be entitled to reimbursement for any dues or other

financial contributions made to the joint power entity during its membership. All Board property in the physical possession of the withdrawing party, or located within its geographical boundaries, shall be returned to the Board for redistribution to or placement with a non-withdrawing party.

11.2. *Termination.* This agreement shall terminate upon the occurrence of any one of the following events: (a) when necessitated by operation of law or as a result of a decision by a court of competent jurisdiction; or (b) when the parties unanimously agree to terminate the agreement upon a date certain.

11.3. *Effect of Termination.* Termination shall not discharge any liability incurred by the Board or by the parties during the term of this agreement. Upon termination, surplus funds held by the Board shall be distributed to the parties in proportion to their respective contributions. Equipment and other tangible property acquired as a result of this agreement shall be distributed in proportion to the parties' respective contributions based on the insured value of each individual item of equipment or tangible property.

12. Miscellaneous.

12.1. *Amendments.* This agreement may be amended only in writing and upon the written consent of the governing bodies of all of the parties.

12.2. *Records, Accounts and Reports.* The books and records of the Board shall be subject to the provisions of Minn. Stat. Ch. 13 and Minn. Stat. section 16C.05, subd. 5.

12.3. *Counterparts.* This agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument. Counterparts shall be filed with the Board Chair.

12.4. *Merger.* This agreement constitutes the entire agreement between the parties as to the matters addressed in this agreement. No waiver, consent, modification, or change of terms of this agreement shall bind any party unless in writing and signed by all parties. There are no understandings, agreements, or representations, oral or written, not specified herein regarding this agreement other than those contained in any bylaws which may be adopted by the Board intended to help carry out the terms of this agreement.

12.5. *Waiver.* The failure of any party to enforce any provision of this agreement shall not constitute a waiver by that party of that or any other provision.

12.6. *Assignment.* No party may assign its interest in this agreement.

12.7. *Applicable law.* This agreement shall be governed by and construed in accordance with the laws of the State of Minnesota .

12.8. *Concurrence.* By executing this agreement, the parties acknowledge that they: (a) enter into and execute this agreement knowingly, voluntarily and willingly of their own volition with such consultation with legal counsel as they deem appropriate; (b) have had a sufficient amount of time to consider this agreement's terms and conditions, and to consult an attorney before signing this agreement; (c) have read this agreement, understand all of its terms, appreciate the significance of those terms and have made the decision to accept them as stated herein; and (d) have not relied upon any representation or statement not set forth herein.

**JOINT POWERS AGREEMENT
REGION ONE - SOUTHEAST MINNESOTA
HOMELAND SECURITY EMERGENCY MANAGEMENT**

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by the persons authorized to act for their respective Parties on the date shown below.

Approved as to form(ADOPTED):

JURISDICTION OF:

By: _____
Legal Authority

By: _____
Board/Council Chairperson

Date: _____

Date: _____

Attest: _____
County Administrator

Date: _____

Houston County Agenda Request Form

Date Submitted: May 22, 2025 **Board Date:** May 27, 2025

Person requesting appointment with County Board: Brian Pogodzinski

Issue:

E911 address signs around the county are deteriorating quickly. I'd like to continue discussion on the rates charged for sign replacement when the majority of E911 signs are replaced along a roadway.

Attachments/Documentation for the Board's Review:

2025 Highway Department Fee Schedule.

Justification:

Seeking a cost effective solution to replace E911 signs in bulk throughout the county.

Action Requested:

Approval to charge the Labor Charge and Inventory Items/Materials rates from within the 2025 Fee Schedule instead of the E911 Address Sign rate when replacing signs in bulk along a roadway. This will reduce the rates charge to townships by about half, while still covering county costs.

For County Use Only			
<u>Reviewed by:</u>	_____ County Auditor	_____ County Attorney	_____ Zoning Administrator
	_____ Finance Director	_____ County Engineer	_____ Environmental Services
	_____ IS Director	_____ Other (indicate dept)	_____
<u>Recommendation:</u>			
<u>Decision:</u>			

All agenda request forms must be submitted to Allison Wagner at BOC@co.houston.mn.us by 12:00 p.m. 12:00 p.m. o Thursday in order to be considered for inclusion on the following week's agenda. The Board will review all requests and determine if the request will be heard at a County Board meeting.

Highway Department	E911 Address Sign - Full Sign Replacement	\$230
Highway Department	E911 Address Sign - Partial Sign Replacement (reuse sign/post)	\$160
Highway Department	Permit for Over dimension Load	\$25 per trip; \$100 annual permit
Highway Department	Permit for Work within ROW	\$20
Highway Department	Permit for Special Event Road Closure	\$20
Highway Department	Permit - Access or Entrance Policy of 2 loads of rock being furnished for new driveway and 1 load of rock for a revised or extended driveway by County is continued.	\$550 residential/field \$650 street/comercial/farm yard \$50 temporary access \$275 revised/extension or improvement to an entrance/driveway
Highway Department	Mailbox installation	\$100 plus cost of materials
Highway Department	Message Board Signs	\$300 Set up plus \$20 per day per sign
Highway Department	Inventory Items/Materials	cost + 15%
Highway Department	Equipment Rental Hourly Rates	\$125 Backhoe \$50 Brush Chipper \$100 Dozer \$101 Drum Roller \$135 Grader \$125 Loader - Wheel Case 721 \$150 Loader - Wheel JD 644K \$150 Loader Wheel JD 821F \$115 Loader - Wheel Case 321F \$65 Loader - Compact JD 333G \$60 Loader - Compact JD 325G \$55 Mowing Tractor (large) \$45 Mowing Tractor (small) \$65 Sign Truck \$100 Tandem Truck - Hauling \$125 Tandem Truck - Plowing \$38 Sprayer \$40 Trailer
Highway Department	Labor Charge	Labor agreement in place plus 60% markup for fringe benefits

Houston County Agenda Request Form

Date Submitted: May 22, 2025 Board Date: May 27, 2025

Person requesting appointment with County Board: Brian Pogodzinski

Issue:

There has previously been some discussion on installing a flag pole at the Highway Department building in Caledonia. A cost estimate has been prepared for the installation of a flag pole at the facility.

Attachments/Documentation for the Board's Review:

Justification:

Flag Pole (25' Commercial Grade): \$1,500-2,000

Underground electric and light installation: \$2,500

Concrete/Misc supplies: \$500

4'x6' Flag: \$120 per year (\$60 each x 2)

Total Initial cost: Approx \$5,000

Annual expenses after installation: \$250 (flags & electric)

Action Requested:

Discussion and potential action on adding a flag pole at the Highway Department building in Caledonia.

For County Use Only			
Reviewed by:	<u> </u> County Auditor	<u> </u> County Attorney	<u> </u> Zoning Administrator
	<u> </u> Finance Director	<u> </u> County Engineer	<u> </u> Environmental Services
	<u> </u> IS Director	<u> </u> Other (indicate dept)	<u> </u>
<u>Recommendation:</u>			
<u>Decision:</u>			

All agenda request forms must be submitted to Allison Wagner at BOC@co.houston.mn.us by 12:00 p.m. 12:00 p.m. o Thursday in order to be considered for inclusion on the following week's agenda. The Board will review all requests and determine if the request will be heard at a County Board meeting.

Houston County

Agenda Request Form

This form is not intended for the general public. It is intended for use by county department heads, representatives of other governmental units or vendors/agencies who contract with Houston County. Members of the public may address the Board during the Public Comment Period. (See Policy for Public Comment Period).

Date Submitted: 22-May-25

Person requesting appointment with County Board: Amelia Meiners

Issue:

Approval/Denial of the following: 1) Robert and Lori Ellenz - Build a manure storage structure with a capacity over 20,000 gallons in Caledonia Township. (PC meeting was on 4-24-25) 2) James & Suzanna Gulbranson - Build a dwelling on less than 40 acres in the Agricultural Protection District. 3) Luke & Miranda Schuttenhelm - Build a dwelling on less than 40 acres in the Agricultural Protection District. 4) Brooke Johnston - Build a dwelling on less than 40 acres in the Agricultural Protection District. (PC meeting was on 5-22-25)

Justification:

Action Requested:

Final Approval by the County Board. (Agenda, Hearing Notice, Findings and Staff Report is attached.)

For County Use Only			
Reviewed by:	_____ County Auditor	_____ County Attorney	_____ Zoning Administrator
	_____ Finance Director	_____ County Engineer	_____ Environmental Services
	_____ IS Director	_____ Other (Indicate dept)	_____
<u>Recommendation:</u>			
<u>Decision:</u>			

All agenda request forms must be submitted to the County Auditor by 4:00 p.m. on Monday in order to be considered for inclusion on the following week's agenda. The Board will review all reequests and determine if the request will be heard at a County Board meeting.

**HOUSTON COUNTY
BOARD OF ADJUSTMENT AND
PLANNING COMMISSION AGENDA
Thursday, April 24, 2025**

*Hearings are in the Houston County Commissioner's Room.
Please enter through the west entrance. Doors will open at 4:45 pm.*

BOARD OF ADJUSTMENT

Approve Minutes for November 21, 2024.
Elect Chair and Vice Chair for 2025.

VARIANCE HEARINGS:

- 5:00 pm ***David and Judy Winsky Trust – La Crescent Township***
Variance to reduce front yard setback requirements for replacement of a garage (14.7 Subd. 2).
- 5:20 pm ***Benjamin and Levenda Ranney – Union Township***
Variance to reduce property line setback requirements for a proposed accessory structure (14.8 Subd. 1).
- 5:40 pm ***Joseph and David Holten – Wilmington Township***
1) Variance to reduce side yard setback requirements for a proposed accessory structure (14.8 Subd. 1).
2) Variance to reduce ordinary high water level setback requirements for existing accessory structures (22.6 Subd. 4, Subsection 1(a)).
- 6:00 pm ***Steven and Vicki Neeser – Winnebago Township***
Variance from the one dwelling per quarter-quarter section requirement (14.2 Subd. 1(4)).

PLANNING COMMISSION

Approve Minutes for March 27, 2025.

CONDITIONAL USE HEARINGS:

- 6:30 pm ***Robert and Lori Ellenz – Caledonia Township***
Conditional Use Permit to build a manure storage structure with a capacity over 20,000 gallons (14.3 Subd.1 (18)).

OTHER BUSINESS:

General discussion on commercial solar projects and interim commercial solar ordinance.

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE:

That an application has been made by Robert & Lori Ellenz, 12188 County 10, Caledonia, MN 55921, for a Conditional Use Permit to build a manure storage structure with a capacity over 20,000 gallons (Section 14.3, Subdivision 1, Subsection 18). The facility will consist of the following components:

- 1) Existing 103' x 56' free stall barn;
- 2) Existing 50' x 100' cattle shed with open lot 40' x 60';
- 3) Existing 35' x 70' cattle shed with open lot 18' x 54';
- 4) Existing 45' x 64' cattle shed with open lot 12' x 12';
- 5) Existing 35' x 85' milking barn;
- 6) Existing 56' x 60' enclosed calf barn;
- 7) Proposed 195' x 195' x 8' manure basin (1.9 million gallons)

all in Caledonia Township on the following premises, to-wit:

E3/4 NW1/4; Section 10, Township 102, Range 6,
Houston County, Minnesota. (Parcel #03.0113.000)

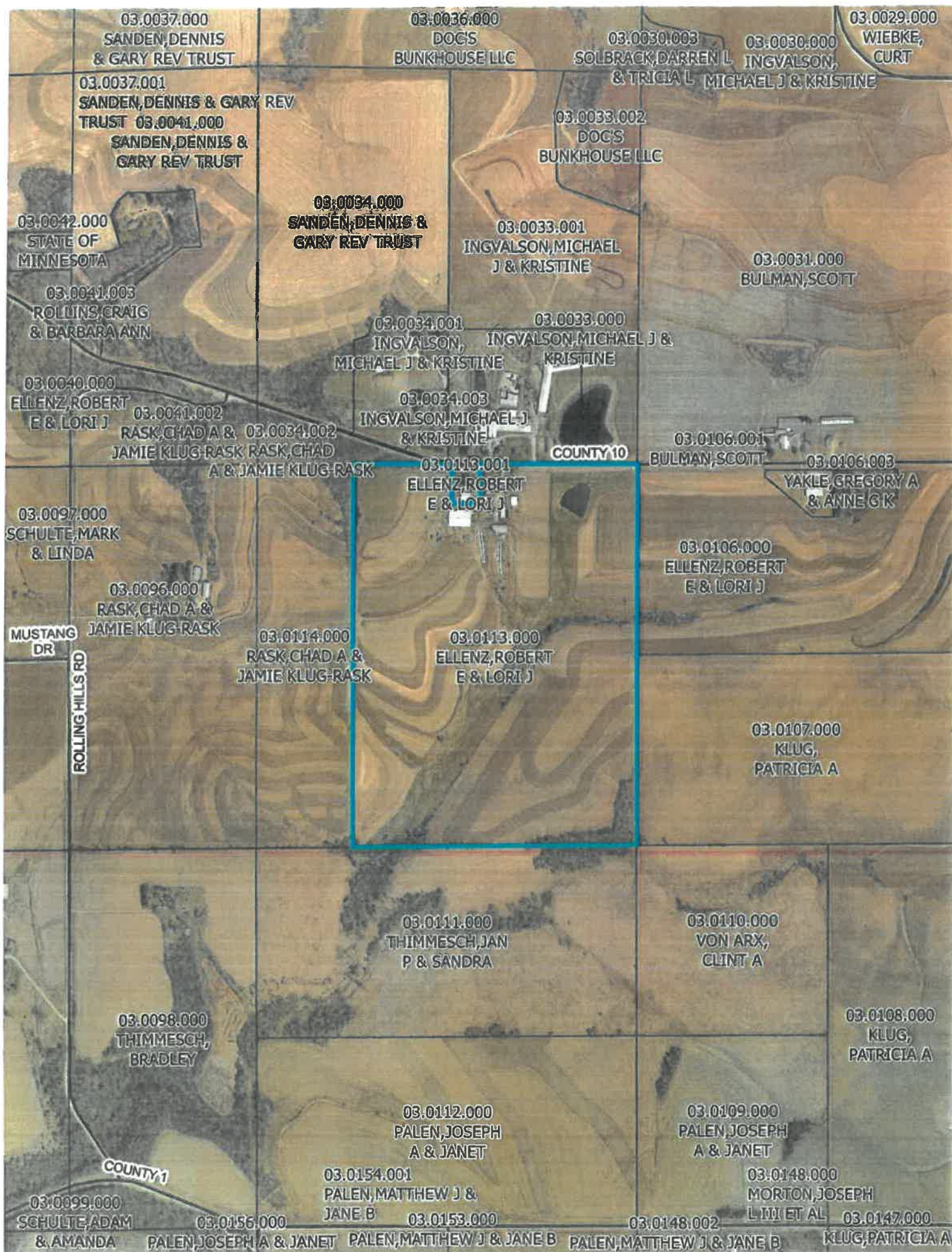
Said applicants standing and making application are as fee owner of said described lands.

A hearing on this application will be held at the Houston County Commissioner's Room, City of Caledonia, Minnesota, 55921 at 6:30 p.m. on Thursday, April 24, 2025. All persons having an interest in the matter will be given the opportunity to submit comments relative to the granting or denying of said application. Comments should be mailed to the Environmental Services Dept., 304 South Marshall Street – Room 209, Caledonia, MN 55921, or emailed to amelia.meiners@co.houston.mn.us, and must be received by Tuesday, April 15, 2025, to be included for review prior to the hearing. All comments are considered part of the public record.

HOUSTON COUNTY PLANNING COMMISSION

By Amelia Meiners
Zoning Administration

ADV: April 9, 2025



CRITERIA FOR GRANTING CONDITIONAL USE PERMITS

NAME OF APPLICANT: ***Robert and Lori Ellenz*** DATE: ***April 24, 2025***

C.U.P. REQUESTED: ***To build a manure storage structure with a capacity over 20,000 gallons.***

The Planning Commission shall not recommend a conditional use permit unless they find the following:

FINDINGS OF FACT

Section 11.05 of the Houston County Zoning Ordinance requires the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Comprehensive Plan prioritizes support of commercial agriculture. For instance, "Goal 1.1 To preserve commercial agriculture as an essential long-term, permanent land use in the county". For dairy operations to remain viable it often times requires expansion and along with that a manure basin allows them to more responsibly handle manure.

Board agreed to the finding by a unanimous vote.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The petitioners currently operate a dairy scrape and haul operation and manure storage will allow them to limit land application of manure to the fall as well as the opportunity to be more selective in respect to appropriate weather conditions for land application.

Board agreed to the finding by a unanimous vote.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: This project is ultimately to help protect water quality by providing the producer with the ability to handle manure only when conditions are appropriate.

Board agreed to the finding by a unanimous vote.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: All water that falls within the manure basin will be contained and clean water diversions will ensure stormwater is directed around the new project. Runoff controls exist in the open lot area and won't be affected by this construction.

Board agreed to the finding by a unanimous vote.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: Feedlot permits require soils to meet specific standards for approval as well as minimum bedrock separation requirements.

Board agreed to the finding by a unanimous vote.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: A complete review of the liquid manure storage basin design and plans will be completed along with a manure management plan review before the feedlot permit is granted. This is to ensure that the project will meet specifications in place to minimize any pollution concerns.

Board agreed to the finding by a unanimous vote.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: This is an existing dairy facility, so the necessary public infrastructure and utilities are present at this location. Any rerouting within the site of utilities, access roads, drainage, etc. as part of the project will be the responsibility of the producer.

Board agreed to the finding by a unanimous vote.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: N/A

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: Manure storage is commonly found in the agricultural district and proper management will reduce any adverse effect on neighboring properties. This area consists of farming operations with farm dwellings and the Ordinance clearly states that neighboring properties in this district may be subjected to inconveniences, including odor, from “normal and accepted agricultural practices”.

Board agreed to the finding by a unanimous vote.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The predominant use in this area is agriculture. There is another large dairy facility north of this farm, but the addition of a basin at this location will not impact neighboring agricultural operations.

Board agreed to the finding by unanimous vote.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: Manure handling does create odors, but the addition of the basin is an improvement since they will not be hauling daily. Their Good Neighbor Notice identifies they will manage PH levels, haul on adjacent property.

Board agreed to the finding by a unanimous vote.

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: N/A

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: This project aims to reduce manure runoff potential, eliminate groundwater pollution hazards, improve soil health, and therefore protect the public's health, safety, morals, and general welfare.

Board agreed to the finding by a unanimous vote.

Josh Gran made a motion to accept the findings as presented. Johnathon Glasspoole seconded. A roll call vote was taken. All were in favor. Motion carried.

Franklin Hahn made a motion to recommend the Houston County Board approve a Conditional Use application for the construction of a manure storage structure with a capacity over 20,000 gallons with the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The Permittee shall obtain all permits and approvals required under Minnesota Animal Feedlot Rules prior to commencing work on the manure pit.
3. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.

Josh Gran seconded. A roll call vote was taken. All were in favor. Motion carried.



HOUSTON COUNTY ENVIRONMENTAL SERVICES

Solid Waste • Recycling • Zoning
304 South Marshall Street – Room 209, Caledonia, MN 55921
Phone: (507) 725-5800 • Fax: (507) 725-5590



STAFF REPORT 4/9/2025

Application Date: 3/20/2025
Hearing Date: 4/24/2025
Petitioner: Robert & Lori Ellenz
Reviewer: Jeremy Burt
Zoning: Ag Protection
Address: 12174 County Rd 10
Township: Caledonia
Parcel Number: 030113000
Submitted Materials: Conditional Use Permit Application, Supplemental information

OVERVIEW

REQUEST

The Petitioner is seeking a Conditional Use Permit (CUP) for the construction of a manure storage structure with a capacity of over 20,000 gallons.

SUMMARY OF NOTEWORTHY TOPICS

The site is located about 2 miles NW of the City of Caledonia off County Road 10. The farm is operated by Robert and Lori along with their son, Will. There are 2 houses on site, Robert and Lori reside in 1 and Will in the other. They have expanded slightly over the years and have recently constructed a total confinement free stall barn to house their dairy cows. The site is registered with 251 Animal Units, consisting of 122 mature dairy cows (milking and dry), 106 dairy heifers, and 30 dairy calves. There is about 195 acres of connected land to the feedlot that the Ellenz's own that is majority crop land plus they rent additional land. It appears they have more than adequate land for the facilities manure. The proposed Liquid Manure Storage Area (LMSA) will be 195 feet wide by 195 feet long by 8 feet deep with a capacity of just over 1.9 million gallons. This is estimated to be 14 months storage. It's proposed the basin will be regularly emptied on an annual basis, likely in October and November.

Manure storage is proposed on the northwest corner of the farmstead. Currently manure is scraped and hauled daily. Milk house waste is currently daylighted below the silage bags across the fields. With the new LMSA it will be pumped into the LMSA. Open lot runoff from the open lot by the milking barn will be managed by shortening the lot and with a vegetated filter strip.

A feedlot inspection was completed by Houston County staff in April and the petitioners have applied for an Interim Feedlot Permit for construction. Review of the feedlot permit materials is still in process, but liquid

manure storage areas are required to comply with various location and design standards contained within the state feedlot rules. A manure management plan will be completed and reviewed as well.



Below are relevant sections of the Houston County Zoning Ordinance (HCZO):

Animal Feedlot. "Animal feedlot" means a lot or building or combination of lots and buildings intended for the confined feeding, breeding, raising, or holding of animals and specifically designed as a confinement area in which manure may accumulate, or where the concentration of animals is such that a vegetative cover cannot be maintained within the enclosure. For purposes of these parts, open lots used for the feeding and rearing of poultry (poultry ranges) shall be considered to be animal feedlots. Pastures shall not be considered animal feedlots under these parts.

Manure Storage Area. "Manure storage area" means an area where animal manure or process wastewaters are stored or processed. Short-term and permanent stockpile sites and composting sites are manure storage areas. Animal manure packs or mounding within the animal holding area of an animal feedlot that are managed according to MR part 7020.2000, subpart 3, are not manure storage areas.

14.3 CONDITIONAL USES

Subdivision 1. Conditional Uses. In the Agricultural Protection District, the following uses may be allowed only after obtaining a Conditional Use Permit in accordance with the provision of this Ordinance.

- (18) Manure Storage. New, or the expansion of existing manure storage structures with a capacity over 20,000 gallons.

33.14 FEEDLOT PERMIT APPLICATION

Subdivision 1. Information Required for a Feedlot Permit Application. In general, the following information is required for review prior to the issuance of a 2-year Interim Permit; a Construction Short Form Permit; a State Disposal System Permit, or a National Pollution Discharge Elimination Systems Permit:

- (1) A completed State of Minnesota Permit Application as set forth in MR, 7020.0505.
- (2) A Good Neighbor Plan as defined in this Ordinance.
- (3) In some instances, because of site specific or operational considerations, the feedlot officer may require additional information.
- (4) A plan for disposal of dead animals that is consistent with the Minnesota Board of Animal Health regulations.
- (5) The Feedlot Advisory Committee may be requested to conduct an on-site review of any new feedlot, or the expansion of an existing feedlot. The committee will provide to the planning commission findings of fact and make recommendations regarding setbacks, location concerns, the need for vegetative screening, or any other technical information deemed necessary.

33.24 LIQUID MANURE STORAGE AREAS

Minnesota Rules part 7020.2100 describes site restrictions and requirements for design, construction, maintenance, and operation of liquid manure storage areas. An owner shall submit a permit application, as applicable, under MR, part 7020.0405, subparts 1 and 2. Except as required in subpart 2, all liquid manure storage areas must be designed, constructed, and operated in accordance with subparts 3 to 7. An owner of a liquid manure storage area that has been unused for a period of three years or more shall, prior to using the structure for storing manure or process wastewater, have a design engineer evaluate and prepare a report on the condition of the liner and include this report with a permit application submitted according to MR, part 7020.0405.

TOWNSHIP AND NEIGHBORHOOD COMMENTS

Caledonia Township and the ten nearest neighbors were notified.

SITE CHARACTERISTICS

The site is an existing dairy facility approximately 2 miles northwest of the City of Caledonia. The site consists of confinement buildings, open lots, runoff controls and feed storage.

Slopes are under 10% throughout the farmstead. The site is in the Beaver Creek Watershed with the closest intermittent stream being below the facility in the pasture, the unnamed intermediate stream is located just over 550-feet away to the southeast. Beaver Creek is approximately 2 miles via the Intermittent stream in the pasture or 2 miles via intermittent stream located 1800feet northwest of the facility.

There are 3 dwellings within a quarter mile of the proposed basin, all 3 are considered farm dwellings, and 2 additional farm dwellings within a half mile. The dwelling to the west is vacant. The property across county road 10 to the north is large dairy operation.

The well at this location is approximately 377 feet from the proposed basin and it is not located in a Drinking Water Supply Management Area. There are no indications of karst features in the immediate vicinity of this operation.

Prevailing winds measured in Preston and Rochester are from the south and northwest, thus winds are not anticipated to substantially increase odor at any of the neighboring properties. An OFFSET (Odors From Feedlots Setback Estimation Tool) was completed during the CNMP process and rates the site at 93% annoyance free. Staff ran an independent OFFSET which rated the site at 89% which included the proposed manure storage to the extent possible.

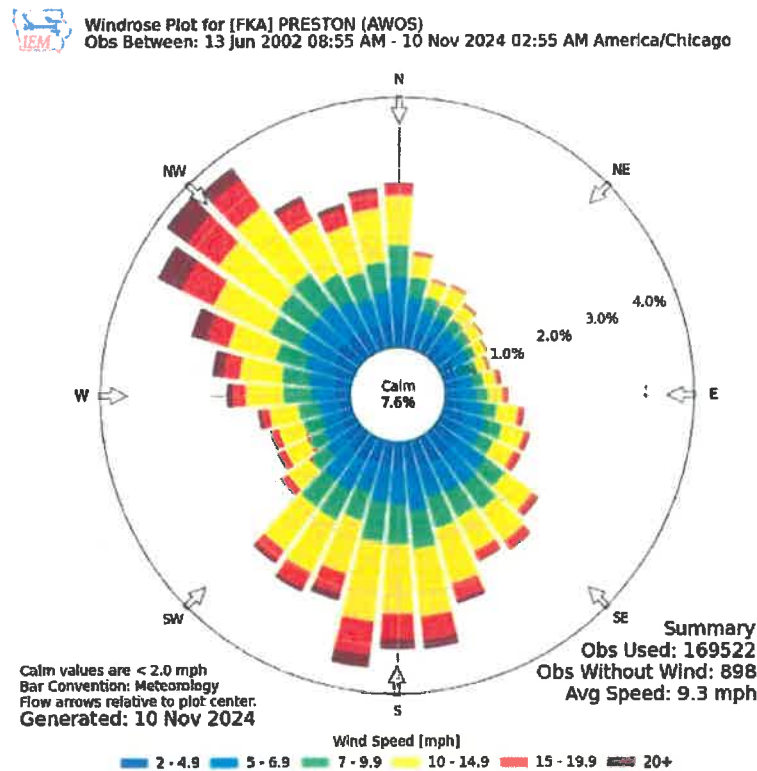


Figure 1. Wind Rose for Preston, MN. Source: Iowa State University

EVALUATION

Section 11.5 of the Houston County Zoning Ordinance requires the following:

Subdivision 1. Findings. The Planning Commission shall not recommend a conditional use permit unless they find the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Comprehensive Plan prioritizes support of commercial agriculture. For instance, “Goal 1.1 To preserve commercial agriculture as an essential long-term, permanent land use in the county”. For dairy operations to remain viable it often times requires expansion and along with that a manure basin allows them to more responsibly handle manure.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The petitioners currently operate a daily scrape and haul operation and manure storage will allow them to limit land application of manure to the fall as well as the opportunity to be more selective in respect to appropriate weather conditions for land application.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: This project is ultimately to help protect water quality by providing the producer with the ability to handle manure only when conditions are appropriate.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: All water that falls within the manure basin will be contained and clean water diversions will ensure stormwater is directed around the new project. Runoff controls exist in the open lot area and won't be affected by this construction.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: Feedlot permits require soils to meet specific standards for approval as well as minimum bedrock separation requirements.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: A complete review of the liquid manure storage basin design and plans will be completed along with a manure management plan review before the feedlot permit is granted. This is to ensure that the project will meet specifications in place to minimize any pollution concerns.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: This is an existing dairy facility, so the necessary public infrastructure and utilities are present at this location. Any rerouting within the site of utilities, access roads, drainage, etc. as part of the project will be the responsibility of the producer.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: N/A

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Interim will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: Manure storage is commonly found in the agricultural district and proper management will reduce any adverse effect to neighboring properties. This area consists of farming operations with farm dwellings and the Ordinance clearly states that neighboring properties in this district may be subjected to inconveniences, including odor, from "normal and accepted agricultural practices".

11. That the establishment of the Interim will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The predominant use in this area is agriculture. There is another large dairy facility north of this farm, but the addition of a basin at this location will not impact neighboring agricultural operations.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: Manure handling does create odors, but the addition of the basin is an improvement since they will not be hauling daily. Their Good Neighbor Notice identifies they will manage PH levels, haul on adjacent property.

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: N/A

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: This project aims to reduce manure runoff potential, eliminate groundwater pollution hazards, improve soil health, and therefore protect the public's health, safety, morals, and general welfare.

RECOMMENDATION

The Planning Commission must consider the criteria above. Should the permit be granted, staff recommend requiring the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The Permittee shall obtain all permits and approvals required under Minnesota Animal Feedlot Rules prior to commencing work on the manure pit;
3. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.

Proposed motion: To recommend granting the Conditional Use Permit for the construction of manure storage over 20,000 gallons with the aforementioned conditions.

Odors From Feedlots Setback Estimation Tool

Farm Name Robert Elenz #1
 Address or County 12174 County Rd 10 Caledonia, MN 55821
 Evaluator Jeremy Burt
 Date 4/8/2025

Clear All

OFFSET Ver 2.0
 University of Minnesota
 1/21/2017

OFFSET
 Annoyance-free
 93%

Source Edge to Nearest Neighbor (ft) 450
 Source Edge to Property Line (ft) 270

Building Sources

Building Type	Width (ft)	Length (ft)	# of Similar Sources	Total Area (sqft)	Control Technology	% air treated
Dairy - free stall				0	None	
Dairy - free stall	103	156	1	16068	None	
Dairy - loose housing	50	100	2	10000	None	
Dairy - loose housing	50	60	1	3300	None	
Dairy - tie stall	35	85	1	2975	None	
None				0	None	
None				0	Biofilter	

AREA SOURCES

Source Description	Shape	Width (ft) (or Dia)	Length (ft)	Area (sqft)	Control Technology
Earthen manure storage	Rectangle			0	4" straw or natural crust
User added	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None

Building Sources	
Add Source Type	
Name of Source	
Odor Flux (ou/s/m2)	
H2S Flux (ug/s/m2)	
NH3 Flux (ug/s/m2)	
Documentation	
Add a Control Technology	
Name of technology	
Odor reduction (%)	
H2S reduction (%)	
NH3 Reduction (%)	
Documentation	

Area Sources	
Add a Source Type	
Name of Source	
Odor Flux (ou/s/m2)	
H2S Flux (ug/s/m2)	
NH3 Flux (ug/s/m2)	
Documentation	
Add Control Technology	
Name of technology	
Odor reduction (%)	
H2S reduction (%)	
NH3 Reduction (%)	
Documentation	

OFFSET Summary and Results

Farm Name
County
Evaluator
Date

Robert Ellenz #1
12174 County Rd 10 Caledonia, MN 55921
Jeremy Burt
4/9/2025

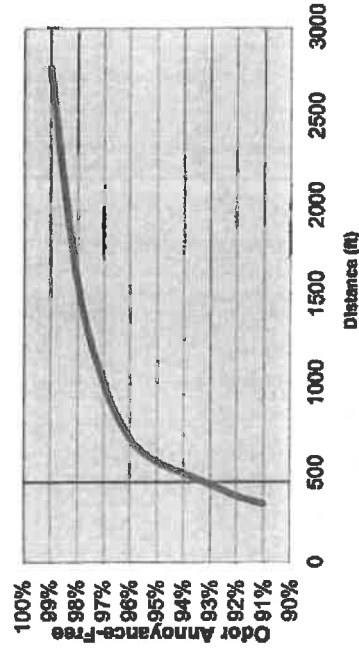
OFFSET Ver 2.0
University of Minnesota
1/2/2017

Source Characteristics Summary

Source Characteristics Summary					Flux Rates (with control technology)					Source Emission Rates*		
Similar Sources	Emit Area sq ft	Control Technology Type	Percent Treated	Odor ou/s/m2	OFFSET	H2S ug/s/m2	Ammonia ug/s/m2	Odor ou/s	H2S ug/s	Ammonia ug/s		
Buildings												
Daily - free stall	0	0	None	0%	1.8	6.0	0.7	31.0	0	0	0	
Daily - free stall	1	16068	None	0%	1.8	6	0.7	31.0	2748	1045	46299	
Daily - loose housing	2	10000	None	0%	1.8	6	0.9	13.0	1710	799	12084	
Daily - loose housing	1	3360	None	0%	1.8	6	0.9	13.0	575	269	4060	
Daily - tie stall	1	2975	None	0%	0.7	2	0.5	39.0	198	124	10785	
Area Sources												
Earthen manure storage	0	4' straw or natural crust		7.0	13	10.4	43.9	0	0	0		
User added	0	None		0.0	0.0	0.0	0.0	0	0	0		

*includes control technologies

Site Emissions		Total Site Area (ft2)	32,403
		Total Odor Emission Factor (TOEF)	18
		Total Site H2S Emissions (m3/s)	2
		Total Site H2S Emission AVERAGE (lbs/day)	0
		Total Site H2S Emission MAX (lbs/day)	1
		Total Site H2S Emissions (tons/yr)	0
		Total Site Ammonia Emissions (m3/s)	73
		Total Site Ammonia Emission AVERAGE (lbs/day)	14
		Total Site Ammonia Emissions MAX (lbs/day)	28
		Total Site Ammonia Emissions (tons/yr)	3
		Source Edge to Nearest Neighbor (ft)	250
		OFFSET Annoyance-free frequency	95%



Odors From Feedlots Setback Estimation Tool

Farm Name Robert Ellenz #1
 Address or County 12174 County Rd 10 Caledonia, MN 55921
 Evaluator Jeremy Burt
 Date 4/9/2025

Clear All

OFFSET Ver 2.0
 University of Minnesota

OFFSET
 Annoyance-free
 89%

Source Edge to Nearest Neighbor (ft) 450
 Source Edge to Property Line (ft) 270

Building Sources

Building Type	Width (ft)	Length (ft)	# of Similar Sources	Total Area (sqft)	Control Technology	% air treated
Dairy - free stall				0	None	
Dairy - free stall	103	156	1	16068	None	
Dairy - loose housing	50	100	2	10000	None	
Dairy - loose housing	56	60	1	3360	None	
Dairy - tie stall	35	85	1	2975	None	
None				0	None	
None				0	Biofilter	

AREA SOURCES

Source Description	Shape	Width (ft) (or Dia)	Length (ft)	Area (sqft)	Control Technology
Earthen manure storage	Rectangle	195	195	38025	4" straw or natural crust
User added	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None

Building Sources	
Add Source Type	
Name of Source	
Odor Flux (ou/s/m2)	
H2S Flux (ug/s/m2)	
NH3 Flux (ug/s/m2)	
Documentation	
Add a Control Technology	
Name of technology	
Odor reduction (%)	
H2S reduction (%)	
NH3 Reduction (%)	
Documentation	

Area Sources	
Add a Source Type	
Name of Source	
Odor Flux (ou/s/m2)	
H2S Flux (ug/s/m2)	
NH3 Flux (ug/s/m2)	
Documentation	
Add Control Technology	
Name of technology	
Odor reduction (%)	
H2S reduction (%)	
NH3 Reduction (%)	
Documentation	

OFFSET Summary and Results

Farm Name
County
Evaluator
Date

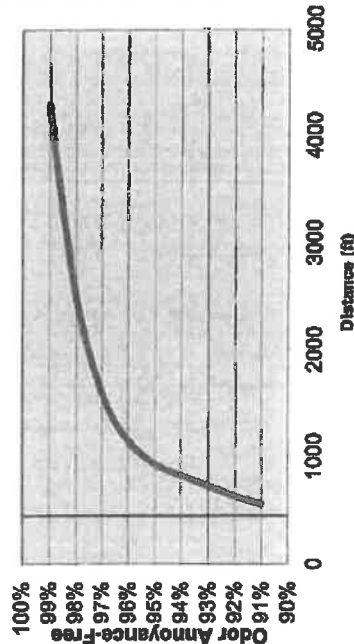
Robert Ellenz #1
12174 County Rd 10 Caledonia, MN 55921
Jeremy Burt
4/8/2025

OFFSET Ver 2.0
University of Minnesota
1/24/2017

Source Characteristics Summary											
	Similar Sources	Emit Area sq ft	Control Technology Type	Percent Treated	Flux Rates (with control technology)				Source Emission Rates*		
					Odor ouls/m2	OFFSET OER	H2S ug/m2	Ammonia ug/m2	Odor ouls	H2S ug/a	Ammonia ug/a
Buildings											
Dairy - free stall	0	0	None	0%	1.8	6.0	0.7	31.0	0	0	0
Dairy - free stall	1	18068	None	0%	1.8	6	0.7	31.0	2748	1045	46289
Dairy - loose housing	2	10000	None	0%	1.8	6	0.9	13.0	1710	799	12084
Dairy - loose housing	1	3360	None	0%	1.8	6	0.9	13.0	575	269	4060
Dairy - tie stall	1	2875	None	0%	0.7	2	0.5	39.0	188	124	10785
Area Sources											
Earthen manure storage		38025	4" straw or natural crust		7.0	13	10.4	43.9	24741	36883	155056
User added		0	None		0.0	0.0	0.0	0.0	0	0	0

*includes control technologies

Site Emissions		Total Site Area (ft2)	70,428
Total Odor Emission Factor (TOEF)		43	
Total Site H2S Emissions (mol/s)		39	
Total Site H2S Emission AVERAGE (lbs/day)		7	
Total Site H2S Emission MAX (lbs/day)		15	
Total Site H2S Emissions (tons/yr)		1	
Total Site Ammonia Emissions (mol/s)		226	
Total Site Ammonia Emission AVERAGE (lbs/day)		43	
Total Site Ammonia Emissions MAX (lbs/day)		87	
Total Site Ammonia Emissions (tons/yr)		8	
Source Edge to Nearest Neighbor (ft)		450	
OFF-SET Annoyance-free frequency		89%	



Conditional Use
Request
2025-CUP-391834

Amount Paid
\$0.00

Applicant
Robert Ellenz

Created
March 19, 2025

Number
2025-CUP-
391834

ELLENZ, ROBERT E & LORI J |
030113000 | Caledonia
Submitted by Robert Ellenz on
3/19/2025



Applicant

Robert Ellenz

5077243262

ellenzlori@gmail.com

Search Parcel Data

 Completed On Wednesday, March 19, 2025 at 3:27 PM CDT by Robert Ellenz

ParcelID	Address	City	OwnerName	Acres
030113000	12188 COUNTY 10	CALEDONIA	ELLENZ,ROBERT E & LORI J	119.000

CONDITIONAL USE INTRO

 Completed On Wednesday, March 19, 2025 at 3:28 PM CDT by Robert Ellenz

A Conditional Use is a land use or development that would not be appropriate generally but may be allowed with appropriate restrictions as provided by official controls upon a finding that specific criteria are met, as outlined in Section 6.5 of the ordinance.

When submitting an application, the information requested in this form is required. You may be asked to provide additional information as deemed necessary by the Zoning Office, the Planning Commission, or the County Board.

A non-refundable application fee and recording fee are required before an application is considered complete.

Prior to completing this form, a pre-application meeting with County Zoning is strongly recommended.

Application Fee:

Conditional Use Application Fee

\$700.00

Recording Fee:

Recording Fee

\$46.00

Application Type:

Conditional Use

APPLICANT INFORMATION

 Completed On Wednesday, March 19, 2025 at 3:33 PM CDT by Robert Ellenz

Applicant Name

ELLENZ, ROBERT E & LORI J

Parcel Tax ID

030113000

Telephone Number

5077243262

Address

12188 COUNTY 10

City

CALEDONIA

Zip

55921

Legal Description

E3/4 NW1/4 EX 1A - 119A DOC #192968

6

Section-Township-Range

10-102-006

Do you own additional adjacent parcels

Yes

Township of:

Caledonia

~~Applicants are required to inform township boards of their application.~~ Please reference the table below and contact the official for your township.

I understand I am required to inform my township of my application.

Yes

Township Contacts

TOWNSHIP	NAME	PHONE
Black Hammer	Clayton Johnson	507-450-6384
Brownsville	Christine Novak	507-459-0636
Caledonia	Judith Massman	507-458-3294
Crooked Creek	David Winnes	507-542-4515
Hokah	Delayne Vogel	608-397-6516
Houston	John Beckman	507-429-1745
Jefferson	Anne Falken	320-493-8629
La Crescent	Jason Wieser	507-429-0133
Mayville	Erin Hammell	608-225-1830
Money Creek	Adam Florin	608-797-2515
Mound Prairie	Colleen Tracy	507-459-3573
Sheldon	Wayne Runningen	507-450-0065
Spring Grove	Mike Wiste	507-450-4638
Union	Craig Frederick	608-769-9541

Wilmington Melissa Schroeder 608-780-3998
Winnebago Luke King 507-725-8816
Winnebago Joyce Staggemeyer 507-542-4637
Yucatan Deb Dewey 507-896-3566

Submitted by Applicant

13

CONDITIONAL USE REQUEST Completed On Wednesday, March 19, 2025 at 3:37 PM CDT by Robert Ellenz

[Click here to view the Houston County Zoning Ordinance](#)

Describe in detail your request.

I would like to build concrete manure storage pit.

Citation of Ordinance Section from which the Conditional Use is requested:

Ordinance Section 14.3, Subdivision 18

Requested Dimension:

195" x 195" x 8"

Please upload any supporting documents:

CONDITIONAL USE FINDING OF FACTS Completed On Wednesday, March 19, 2025 at 4:21 PM CDT by Robert Ellenz

[Click here to view the Houston County Zoning Ordinance](#)

Findings Required:

The Planning Commission shall not recommend a Conditional Use Permit unless they find that the requirements below are satisfied. As the applicant, it is your responsibility to demonstrate that your proposal satisfies these requirements. For each of the 15 criteria, please select the appropriate response and provide a detailed explanation.

1. That the proposed use conforms to the County Land Use Plan.

Yes

Comments:

Storage unit has been drawn up by Pro Ag engineering, Inc.

2. That the applicant demonstrates a need for the proposed use.

Yes

Comments:

The storage unit will eliminate the need to haul manure daily.

3. That the proposed use will not degrade the water quality of the County.

Yes

Comments:

The storage unit will improve water quality by allowing us to be able to apply nutrients to the fields in a controlled manner and at appropriate times during the year.

4. That the proposed use will not adversely increase the quantity of water runoff.

Yes

Comments:

All NRCS conservation practices shall be installed, operated, and maintained according to NRCS conservation practice standards.

5. That soil conditions are adequate to accommodate the proposed use.

Yes

Comments:

NRCS engineers approved the site of our storage unit.

6. That potential pollution hazards have been addressed and standards have been met.

Yes

Comments:

Storage unit will be fenced off.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Yes

Comments:

No public access allowed.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

N/A

Comments:

Not applicable.

9. That adequate facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

N/A

Comments:

Not applicable.

△
▽

10. That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Yes

Comments:

We own 276 acres surrounding the storage unit.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Yes

Comments:

The storage unit will improve our ability to apply nutrients to our farmland.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Yes

Comments:

There are no neighbors in area of the storage unit. Odor will be controlled by enzymes added to the storage unit.

13. That the density of any proposed residential development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district

N/A

Comments:

Not applicable.

14. That the density of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district.

N/A

Comments:

Not applicable.

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Yes

Comments:

A Comprehensive Nutrient Management Plan will be followed.

SITE PLAN INFORMATION Completed On Wednesday, March 19, 2025 at 4:48 PM CDT by Robert Ellenz

A site plan MUST accompany all Applications. You may either upload a drawing or use the interactive map below.

Upload Site Plan

Use the Interactive Map to Create a Site Plan. Map tools: Click the plus and minus buttons in the upper left of the map window, to zoom in/out. Navigation Mode - Scroll up to zoom in, scroll down to zoom out. Click and hold to pan around map. Text Mode - To place text on the map, click on the "Add Text" tool, click the place on the map where you would like the text to be displayed, then enter the text in the box that appears at the top of the screen, click ok to display the text on the map. Draw a point - Click once on the map where you would like the point to be. Draw a Line - Click once on map to start drawing a line, double click to stop drawing line. Draw a Polyline - Click once on map to start drawing a polygon, click map at each vertex and double click to finish polygon drawing. Draw a Rectangle - Click once on the map where you would like the rectangle to be. The rectangle will appear on the map. Click on the Select tool and click on the rectangle to resize (click an outside square and drag to resize), rotate (click, hold and drag the circle on top of the rectangle to rotate) or delete (click the rectangle and hit the delete button). Measure - Click once on map to start draw a line with a measurement, click map at each vertex and double click to finish drawing. If you double click near starting point area measurement will also be calculated. Undo Last Edit - Click tool to undo last drawing edit. Undo All Edits - Click tool to undo all drawing edits.

▶  Mapproxy



Powered by Esri

Robert E. Long

Check this box if Staff Signature on behalf of Applicant.

External Notes

Documents

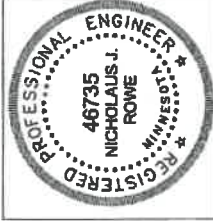
Internal Notes

Documents

Submitted by Applicant

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	ROAD MAP	SHEET 8--	CONCRETE AND STRUCTURAL NOTES
SHEET 2--	SITE PLAN		CONSTRUCTION JOINT DETAILS
SHEET 3--	CONCRETE PIT PLAN VIEW		
	CROSS SECTION		
	8' PIT WALL DETAIL		
	STORAGE VOLUMES		
SHEET 4--	PERIMETER TILE & INSPECTION RISER DETAIL		
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	TYPICAL CORNER DETAIL		
	TYPICAL CURB DETAILS		
SHEET 5--	RAMP DETAILS		
	RAMP CROSS-SECTIONS		
SHEET 6--	FLOOR PLAN		

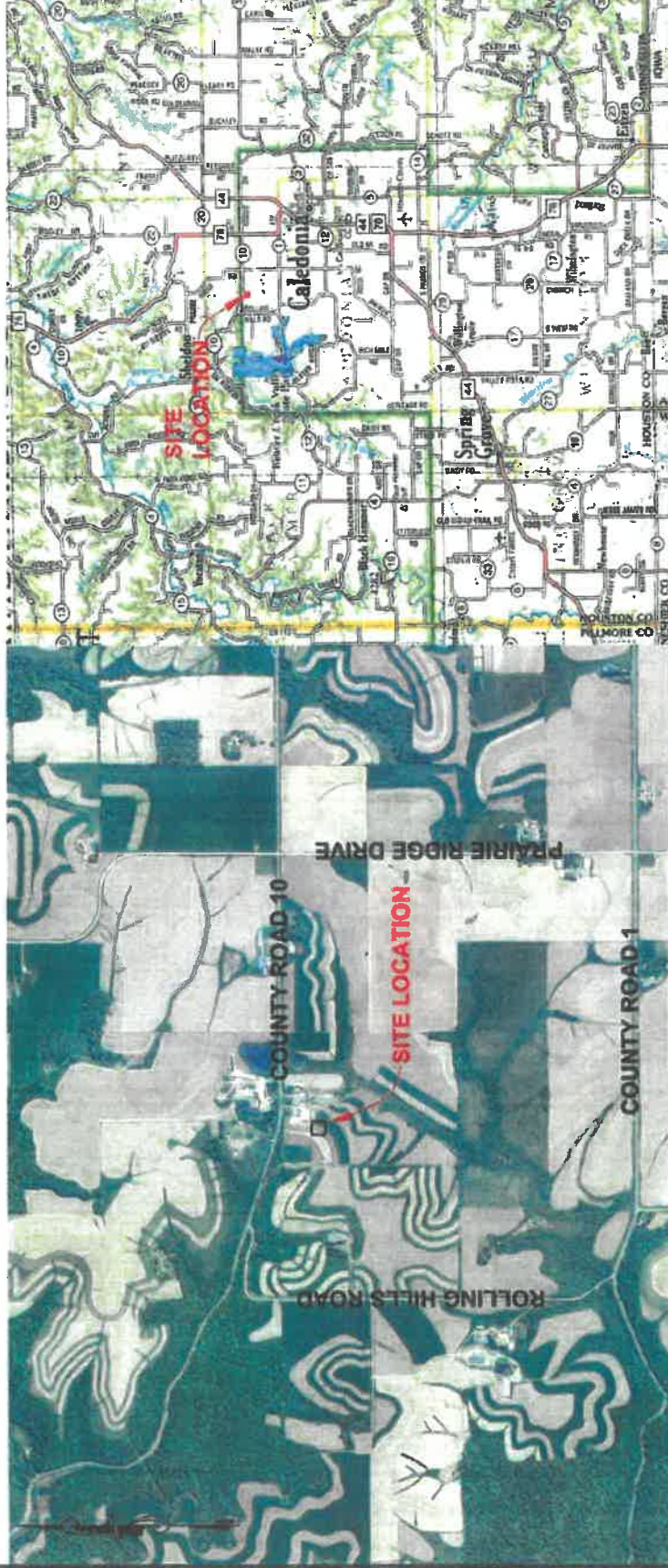


I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

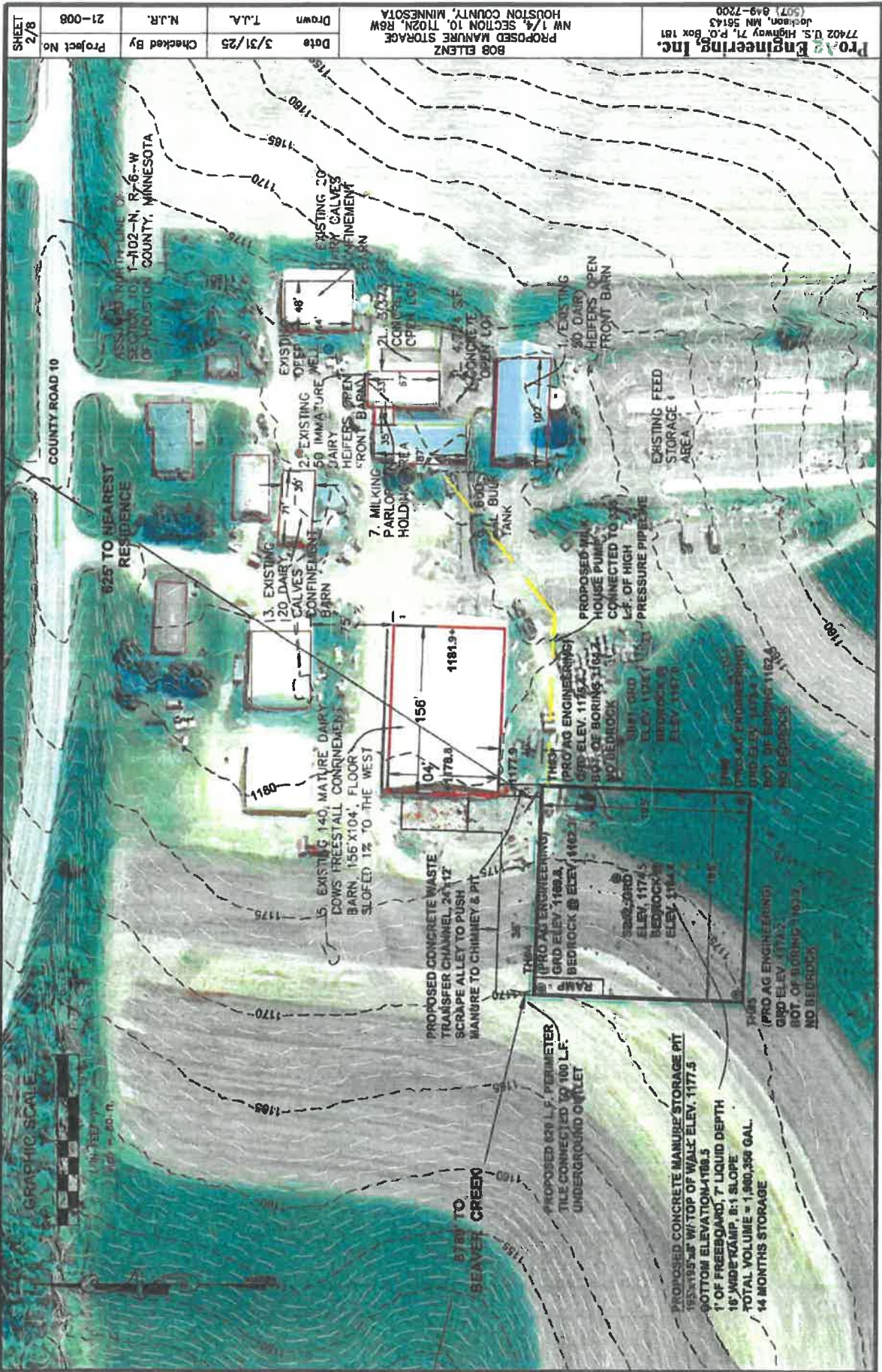
Nicholas J. Rowe Date: 3/3/25

Nicholas J. Rowe, P.E.
License number 46735
My license renewal date is June 30, 2026
Pages or sheets covered by this seal: Sheet 1-8

Project No.	21-008	Drawn	T.J.A.	Date	3/31/25	Checked By	N.J.R.	SHEET	1/8
BOB ELLENZ PROPOSED MANURE STORAGE NW 1/4 SECTION 10, T102N, R6W HOUSTON COUNTY, MINNESOTA									
ProA Engineering, Inc. 77402 S. Highway 71, P.O. Box 181 Jackson, MN 56143 (507) 848-7200									

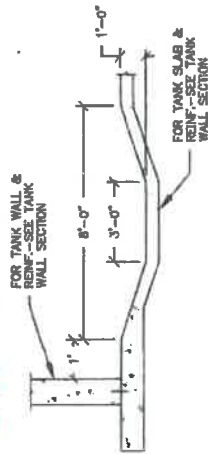


Submitted by Applicant

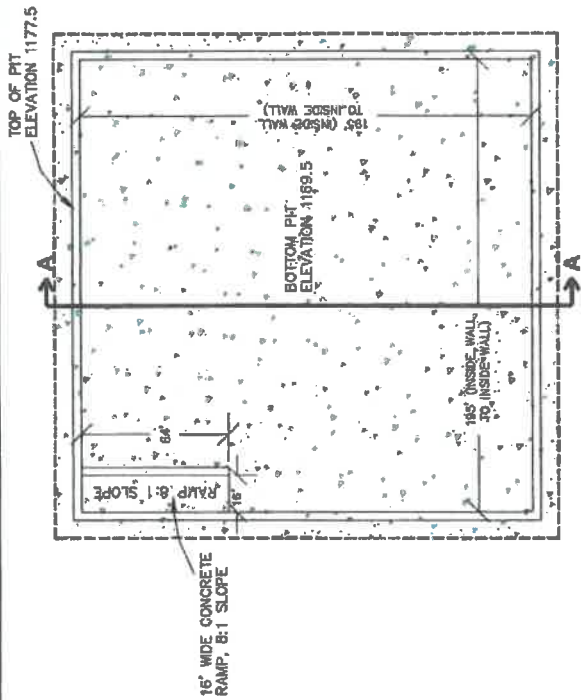
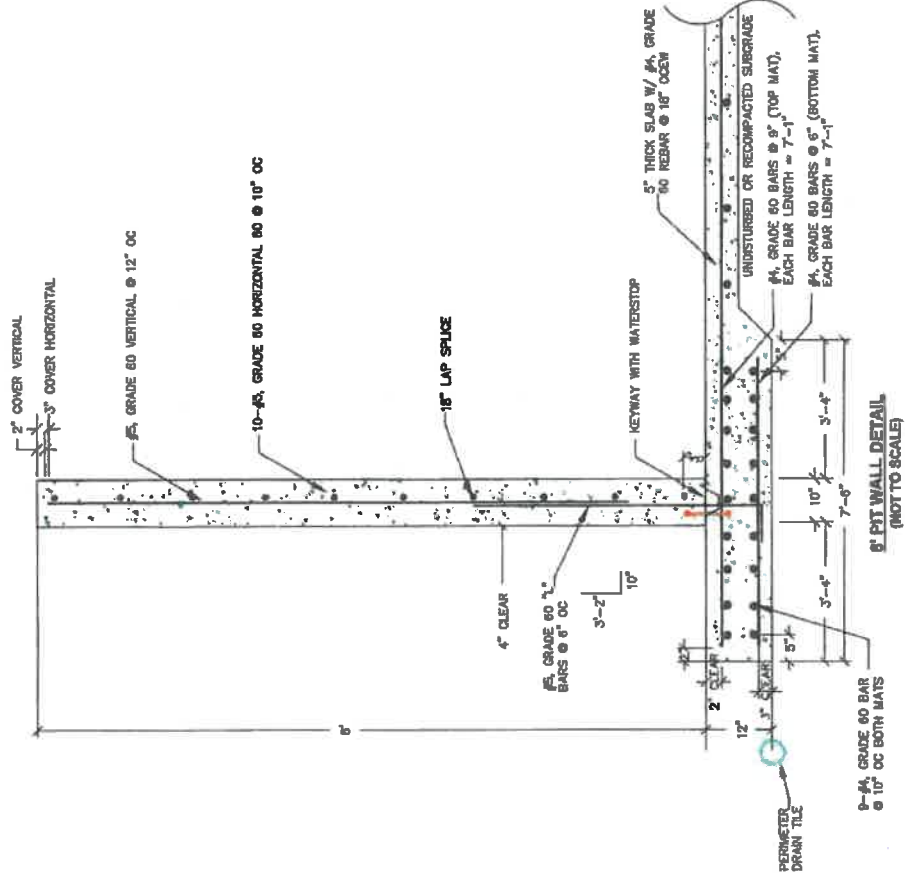


77402 U.S. Highway 71, P.O. Box 181 Jackson, MN 56143 (507) 849-7200		BOB ELENZ PROPOSED MANURE STORAGE NW 1/4, SECTION 10, T102N, R6W HOUSTON COUNTY, MINNESOTA	
Project No.	21-008	Date	3/31/25
Checked By	N.J.R.	Drawn	T.J.A.
SHEET	2/8		

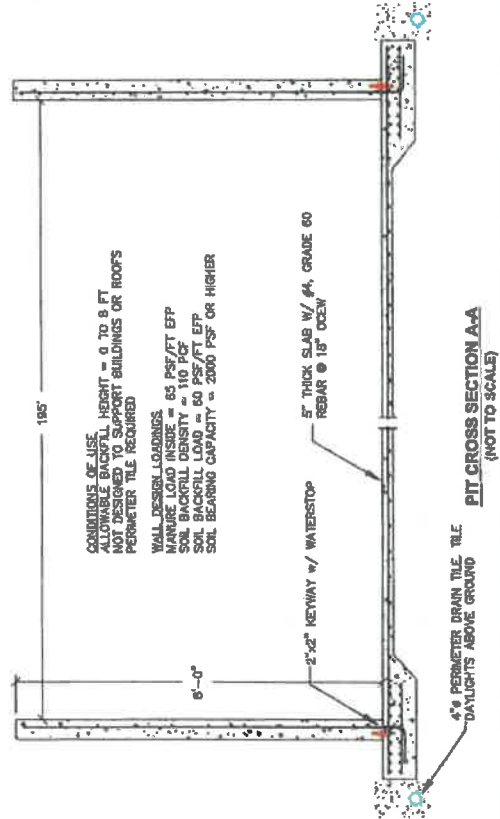
ELEVATION	LIQUID DEPTH	VOLUME (GALLONS)	BOTTOM OF TANK
11685	0	0	
11705	1	274,567	
11715	2	551,754	
11725	3	830,468	
11735	4	1,110,261	
11745	5	1,392,322	
11755	6	1,677,681	
11765	7	1,964,061	
11775	8	2,252,257	
			FREEBOARD ELEV. TOP OF WALL ELEV.



TYPICAL SUMP PUMP



CONCRETE PIT PLAN VIEW
(NOT TO SCALE)

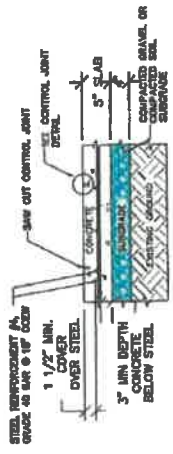


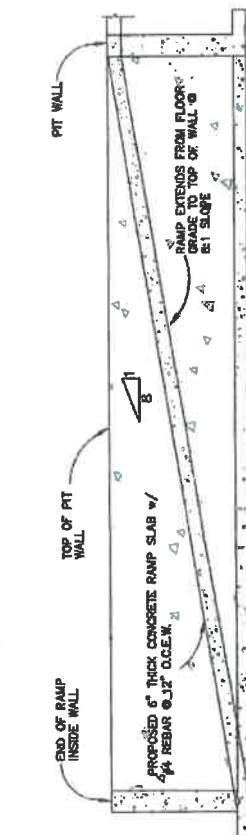
PIT CROSS SECTION A-A
(NOT TO SCALE)

BOB ELENZ
PROPOSED MANURE STORAGE
NW 1/4, SECTION 10, T102N, R6W
HOUSTON COUNTY, MINNESOTA

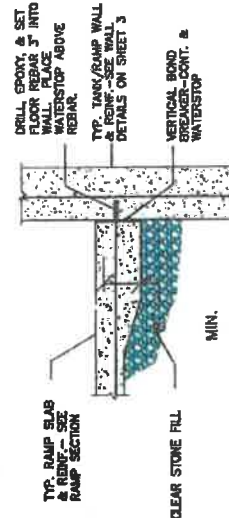
ProAg Engineering, Inc.
77402 U.S. Highway 71, P.O. Box 181
JOCKBON, MN 55143
(507) 848-7200

ProAg Engineering, Inc.
77402 U.S. Highway 71, P.O. Box 181
JOCKBON, MN 55143
(507) 848-7200

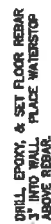




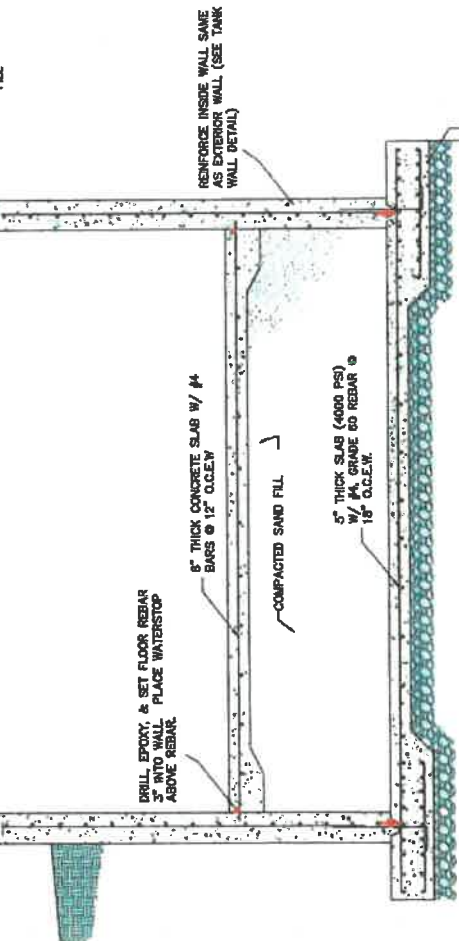
RAMP CROSS SECTION
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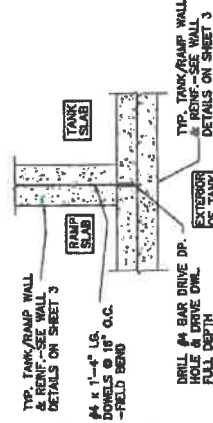
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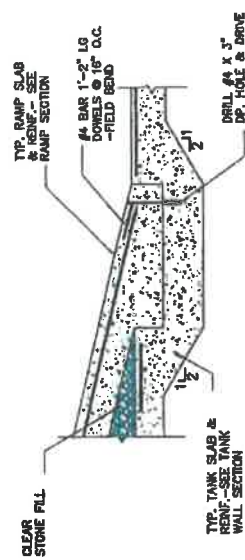
RAMP SLAB EDGE
NOT TO SCALE



ACCESS RAMP SECTION
(NOT TO SCALE)



RAMP WALL INTERSECTION
(NOT TO SCALE)



RAMP SLAB INTERSECTION
(NOT TO SCALE)

77402 U.S. Highway 71, P.O. Box 181 Toad Engineering Inc. Jackson, MN 56145 (507) 848-7700	NW 1/4, SECTION 10, T-102-N, R-6-W HOUSTON COUNTY, MINNESOTA	Drawn	T.J.A.	N.R.	21-008	SHEET
308 U.S. Highway 71, P.O. Box 181 Toad Engineering Inc. Jackson, MN 56145 (507) 848-7700	PROPOSED MANURE STORAGE	Date	3/31/25	Checked By	Project No.	SHEET

Submitted by Applicant

SHEET
9/8

Project No. 21-008

Checked By N.L.R.

Date 3/31/25

Drawn T.J.A.

PROPOSED MANURE STORAGE

NW 1/4 SECTION 10, T102N, R56W

HOUSTON COUNTY, MINNESOTA

BOB ELENZ

77402 S. Highway 71, P.O. Box 181

ProAG Engineering, Inc.

(507) 848-7200

Jackson, MN 56143

77402 S. Highway 71, P.O. Box 181

ProAG Engineering, Inc.

(507) 848-7200

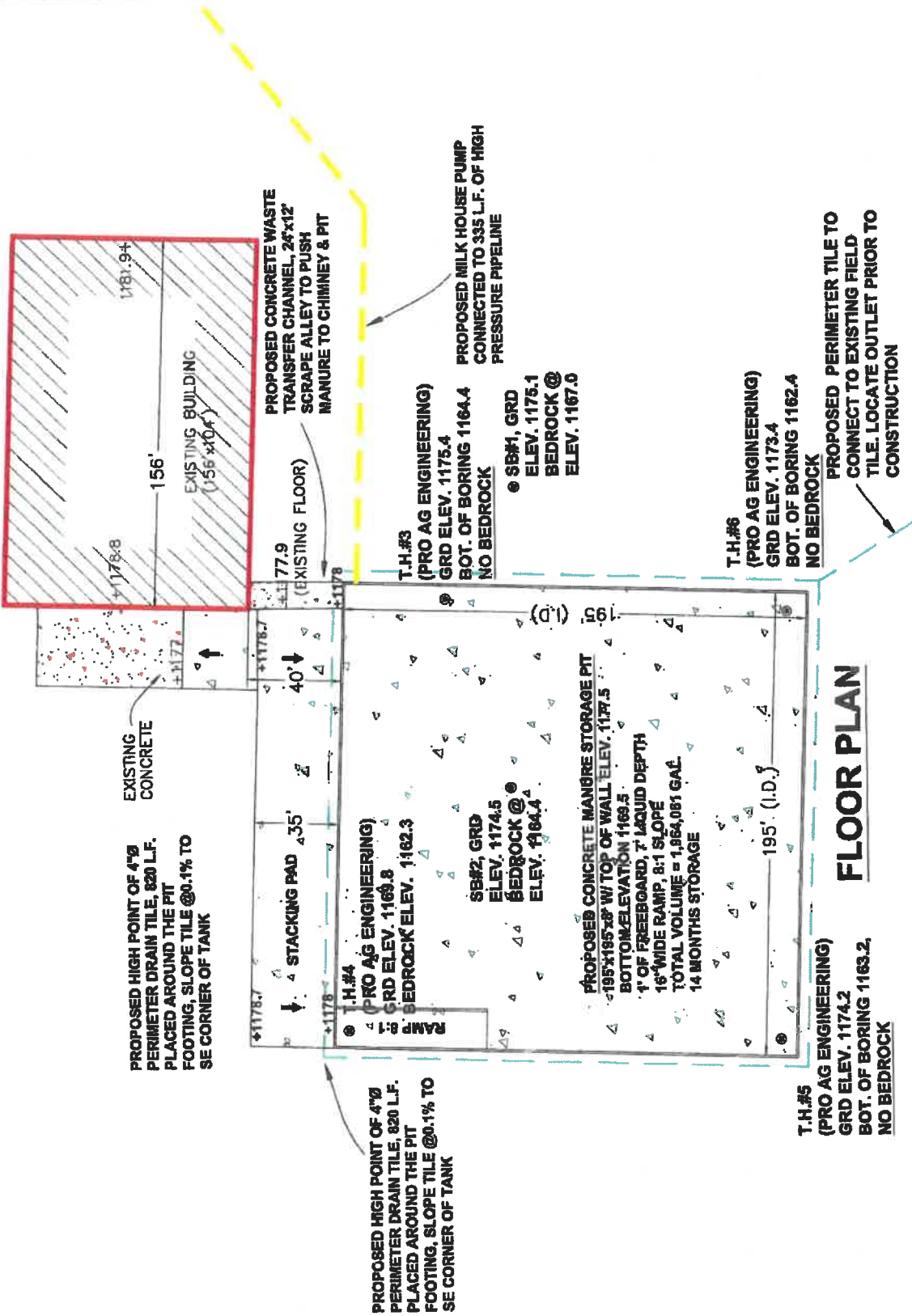
Jackson, MN 56143

77402 S. Highway 71, P.O. Box 181

ProAG Engineering, Inc.

(507) 848-7200

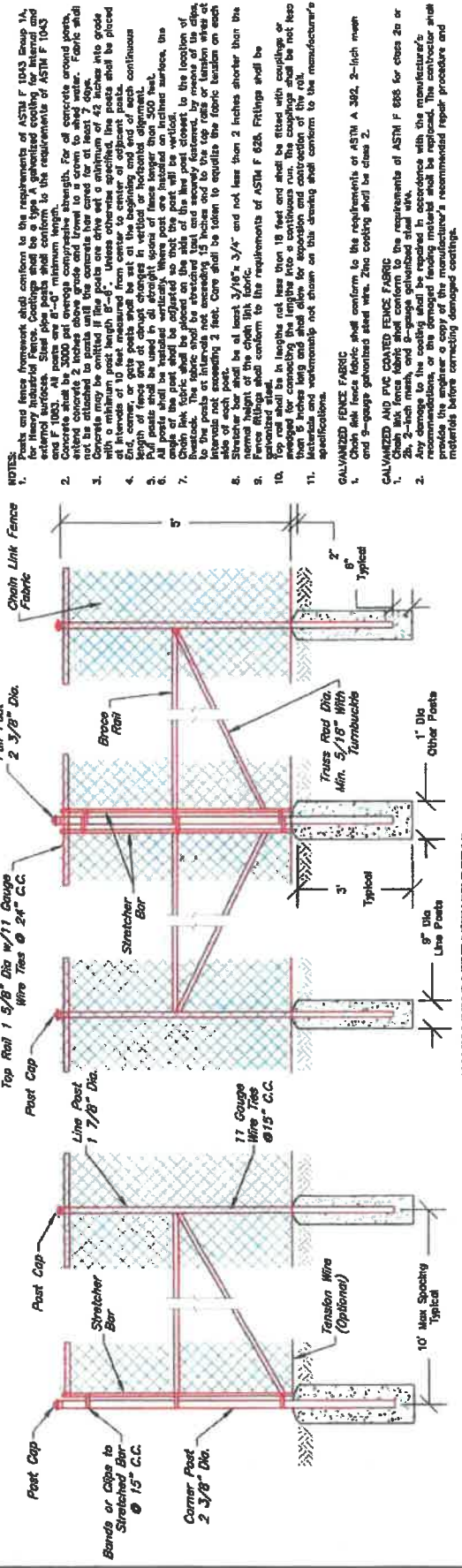
Jackson, MN 56143



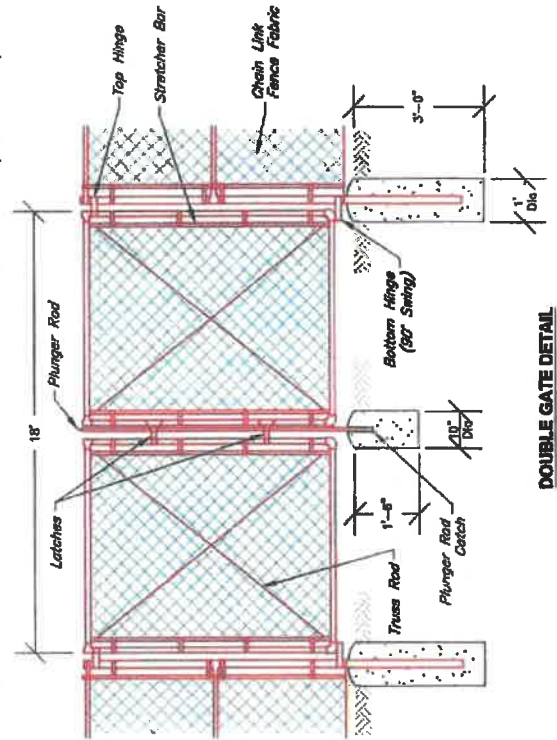
FLOOR PLAN

Submitted by Applicant

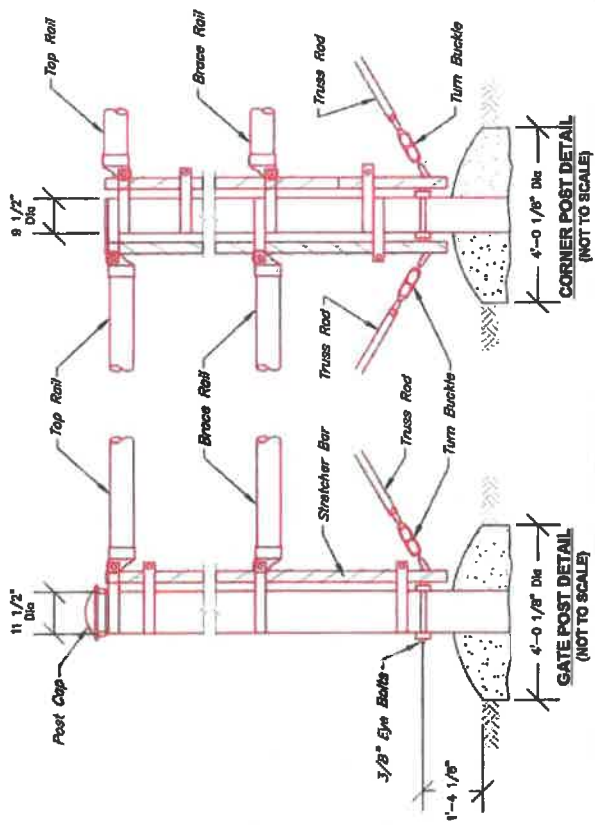
7/8	Project No.	21-008	Checked By	N.J.R.	Date	3/31/25	Drawn	T.J.A.	BOB ELLENZ PROPOSED MANURE STORAGE NW 1/4, SECTION 10, T102N, R6W HOUSTON COUNTY, MINNESOTA	ProA Engineering, Inc. 77402 U.S. Highway 71, P.O. Box 181 Jackson, MN 56143 (507) 849-7200
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CHAIN LINK SAFETY FENCE DETAIL
(NOT TO SCALE)



DOUBLE GATE DETAIL
(NOT TO SCALE)



- NOTES:
1. Posts and fence hardware shall conform to the requirements of ASTM F 1043 Group 1A, except that the posts shall be galvanized steel and conform to the requirements of ASTM F 1043 and F 1003. All posts are 6'-0" minimum length.
 2. Concrete shall be 3000 psi average compressive strength. For all concrete around posts, the concrete shall be 12 inches above grade and trowel to a smooth finish. Fabric shall be placed over the concrete and extend 18 inches above grade. The fabric shall be 1/2 inch thick and shall be placed over the concrete and extend 18 inches above grade.
 3. Concrete may be omitted if the posts are driven a minimum of 42 inches into grade with a minimum post length 6'-0". Unless otherwise specified, the posts shall be placed at intervals of 10 feet measured from center to center of adjacent posts.
 4. All posts shall be installed vertically, true to center, and shall be continuous.
 5. All posts shall be used in all straight spans of fences longer than 300 feet.
 6. Chain link fabric shall be attached to the posts and shall be continuous.
 7. Stretcher bar shall be attached to the posts and shall be continuous.
 8. Stretcher bar shall be attached to the posts and shall be continuous.
 9. Stretcher bar shall be attached to the posts and shall be continuous.
 10. Stretcher bar shall be attached to the posts and shall be continuous.
 11. Stretcher bar shall be attached to the posts and shall be continuous.

CALVADOZ FENCE FABRIC

1. Chain link fabric shall conform to the requirements of ASTM A 392, 2-inch mesh and 9-gauge galvanized steel wire. Zinc coating shall be class 2.

CALVADOZ AND PVC COATED FENCE FABRIC

1. Chain link fabric shall conform to the requirements of ASTM F 888 for class 2a or 2b, 2-inch mesh, and 9-gauge galvanized steel wire.
2. Any damage to the coating shall be repaired in accordance with the manufacturer's recommendations, or the damaged fencing material shall be replaced. The contractor shall be responsible for the repair of any damaged material before proceeding with the installation.

A. GENERAL

- ## A. GENERAL

RANDOM CRACK REPAIR FOR CONCRETE PIT FLOOR

Project CL-112
County Holt
Hole # SB-1
Free Water Table
Seasonal High Water Table
Inspector SPR
Date 10/03/21
Equipment 510-15
Elevation
Depth to Bedrock 8.2'
Soil Series CL-112
Geomorphic Area 105
Parent Material CL-112 / CL-112 (S)
Landscape Position SW/SE
Gopher State Ticket # 21350215

DEPTH (FT)	USCS SYMBOL	Description of USCS Properties (Depth, USCS Name, Stiffness, Plasticity, Shrinkage, Color)	COLOR Mottling Matrix	SAMPLES	Location & General Info (Site Map, Geology Units, Water Table, Field Notes, Comments)
1	CL	0-0.7 CL, 50% MPT, 15% MPT Pl: 7-12	10R 4/3		
2	CL	0.7-4.9 CL, 10% MPT, 10% MPT Pl: 10-15 S: 1-27%	10R 4/3		
3					
4					
5					
6	CL w/ 1	4.9-6.5 CL w/ sand CL ~ 30	10R 4/3		12-15% sand, 10% New Limestone?
7	CL	6.5-8.2 CL w/ sand HA, MPT, MPT, PI: 15-20 CL ~ 33	10R 4/3		25-30% Dolomite Flakiness
8					
9					SUSPECT DOLOMITE @ 8.2'
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SUBSURFACE SOIL LOG

PROJECT: Bob Ellenz

BORING: #3

Submitted by Applicant

PROJECT: Bob Ellenz

SUBSURFACE SOIL LOG

#4

27

PROJECT NO: 21-008

DATE DRILLED: 3/28/2023

DRILLED BY: Contractor

ProAg Engineering, Inc.

CLASSIFIED BY: Brad Buhl

607 Milwaukee Street P.O. Box 992
Lafayette, MN 56150 (507-682-8536)

PROJECT NO: 21-008

DATE DRILLED: 3/28/2023

DRILLED BY: Contractor

ProAg Engineering, Inc.

CLASSIFIED BY: Brad Buhl

607 Milwaukee Street P.O. Box 992
Lafayette, MN 56150 (507-682-8536)

ELEVATION (FMSL)	DEPTH/SLURRY SURFACE	SOIL DESCRIPTION	USED Depth
1175.4	GRADE		
	0 --	(TOPSOIL) DARK BROWN SILTY CLAY LOAM, FRIABLE	CL
	2 --		
	4 --		
	6 --		
	8 --		
	10 --		
	12 --		
	14 --		
	16 --		
	18 --		
	20 --		
	22 --		
	24 --		
	26 --		
	28 --		
	30 --		
	32 --		

ELEVATION (FMSL)	DEPTH/SLURRY SURFACE	SOIL DESCRIPTION	USED Depth
1189.3	GRADE		
1189.3	PROPOSED BOTTOM OF PTT	(TOPSOIL) DARK BROWN SILTY CLAY LOAM, FRIABLE	CL
	2 --		
	4 --		
	6 --		
	8 --		
	10 --		
	12 --		
	14 --		
	16 --		
	18 --		
	20 --		
	22 --		
	24 --		
	26 --		
	28 --		
	30 --		
	32 --		

SUBSURFACE SOIL LOG

PROJECT: Bob Ellenz

BORING: #5

Submitted by Applicant

PROJECT: Bob Ellenz

BORING: #8

28

PROJECT NO: 21-008

DATE DRILLED: 3/28/2023

PROJECT NO: 21-008

DATE DRILLED: 3/28/2023

DRILLED BY: Contractor

ProAg Engineering, Inc.
507 Milwaukee Street P.O. Box 992
Lakefield, MN 56150 (507-682-5538)

DRILLED BY: Contractor

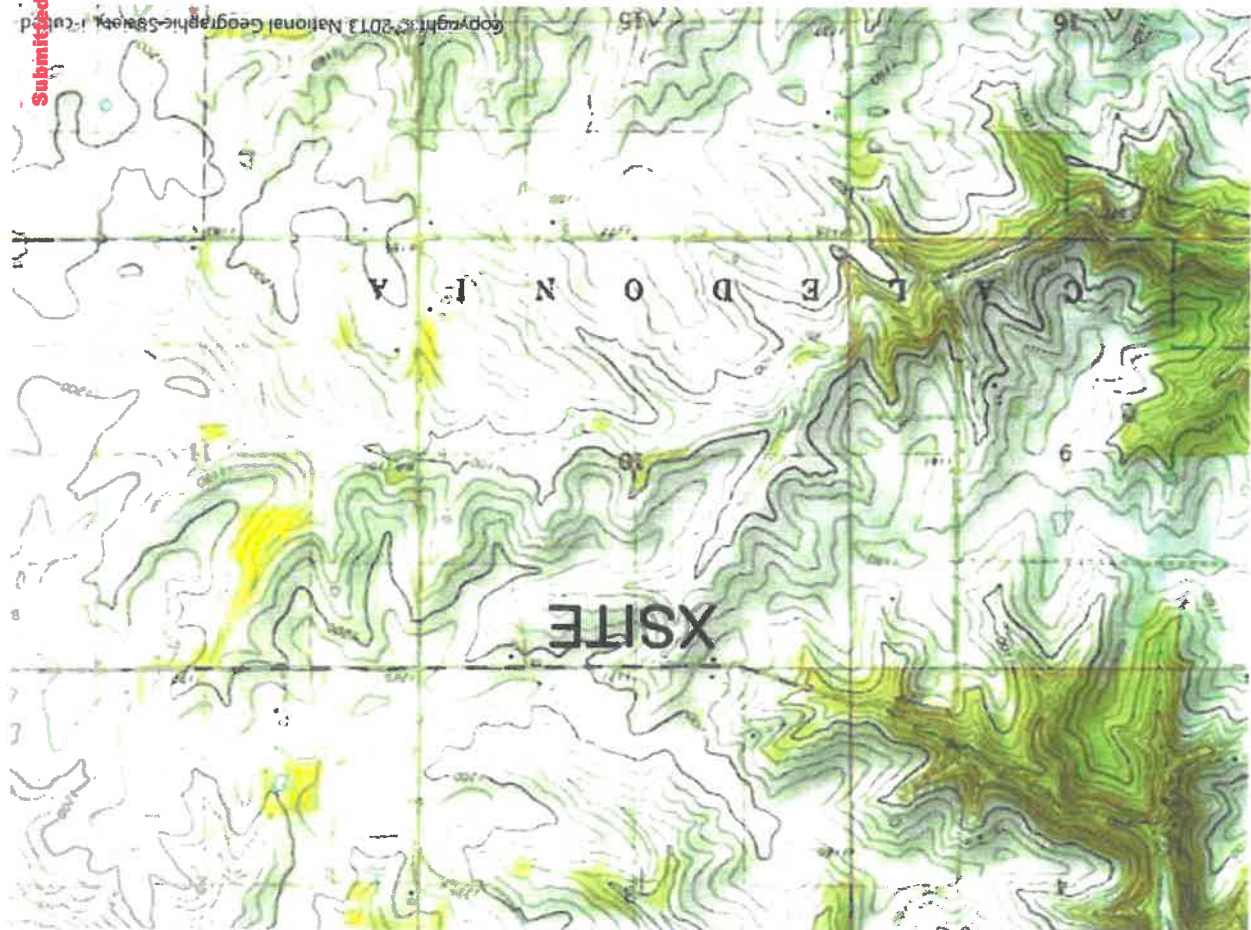
ProAg Engineering, Inc.
507 Milwaukee Street P.O. Box 992
Lakefield, MN 56150 (507-682-5538)

CLASSIFIED BY: Brad Buhl

CLASSIFIED BY: Brad Buhl

ELEVATION (feet)	DEPTH BELOW SURFACE	SOIL DESCRIPTION	USCS Symbol
1174.2	0 --	GRADE	
	2 --	~NO GROUNDWATER MEASURED, TEST HOLE WAS DRY ON 3/28/25	CL
1189.5	4 --	PROPOSED BOTTOM OF PIT	CL
	6 --		
	8 --		
1183.2	10 --	BOTTOM OF BORING	CL
	12 --		
	14 --		
	16 --		
	18 --		
	20 --		
	22 --		
	24 --		
	26 --		
	28 --		
	30 --		
	32 --		

ELEVATION (feet)	DEPTH BELOW SURFACE	SOIL DESCRIPTION	USCS Symbol
1173.4	0 --	GRADE	
	2 --	(TOPSOIL) DARK BROWN SILTY CLAY LOAM, FRIABLE	CL
1189.5	4 --	PROPOSED BOTTOM OF PIT	CL
	6 --		
	8 --		
1183.4	10 --	BOTTOM OF BORING	CL
	12 --		
	14 --		
	16 --		
	18 --		
	20 --		
	22 --		
	24 --		
	26 --		
	28 --		
	30 --		
	32 --		

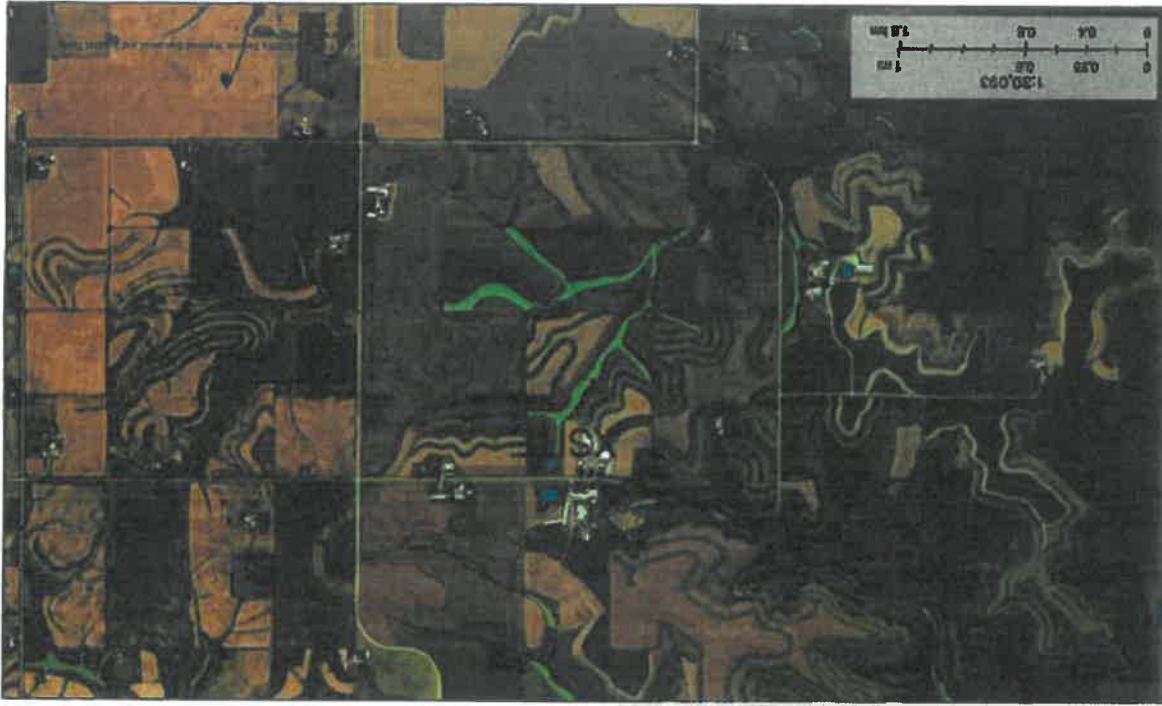


Wetlands



U.S. Fish and Wildlife Service

National Wetlands Inventory



March 21, 2025

SPURGEON

- | Wetlands | |
|---|-----------------------------------|
|  | Estuarine and Marine Deepwater |
|  | Estuarine and Marine Wetland |
| | Freshwater Forested/Shrub Wetland |
|  | Freshwater Pond |
|  | Freshwater Emergent Wetland |
|  | Other |
|  | Riverine |
| | Lake |

This may be for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currency of the base data shown on this map. All waterways related data should be used in accordance with the latest materials found on the Washington Department web site.

Historic Wetlands Inventory (HWI)
 This page was produced by the HWI project

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APPENDIX C**Karst Feature Inventory Reporting Form
For a Proposed Liquid Manure Storage Area (LMSA)**

The purpose of this form is to provide documentation regarding all karst features identified within 1/4 mile from the facility. Additional follow-up inspections may be needed by qualified individuals to assess potential karst features. Submit this form and required map(s) along with your plans and specifications for the LMSA.

Proposed LMSA Location

County: Houston Township: T-102-N, R-6-W Sect.: 10 1/4 Sect.: N1W
 Facility Owner Name: Bob Eikenz Phone: 832 724-3267

Inspector Information

Name: Art Rowe Date of Field Inspection: 3/18/25
 Company/Organization: Pro Hg Engineering Phone: 832 849-7260
 Field Conditions (snow cover, vegetation, etc.): Open fields, no snow

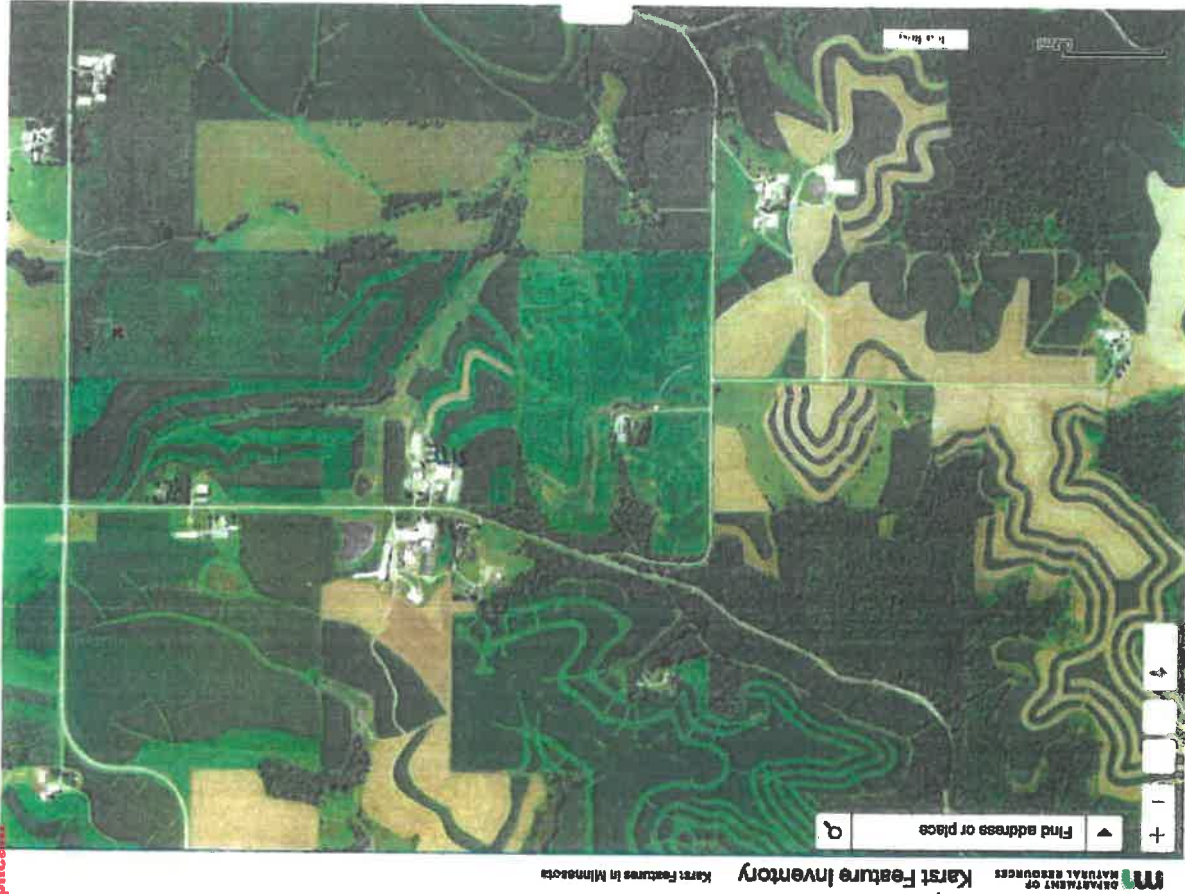
KARST FEATURE INVENTORY DOCUMENTATION

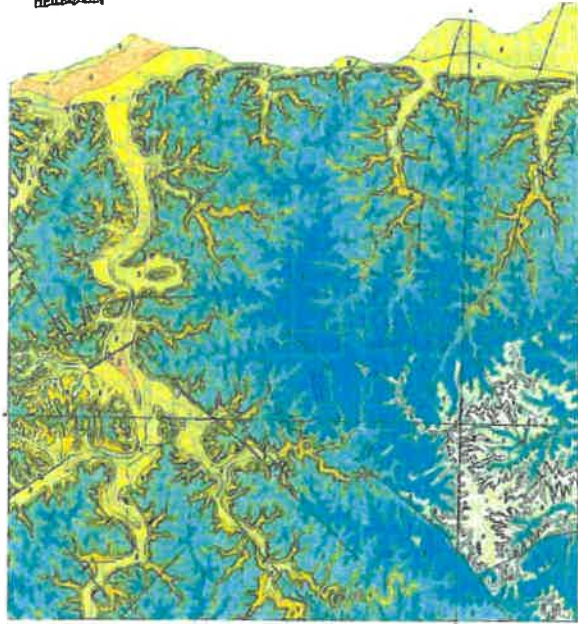
The inspector must review existing map resources for all land within 1/4 mile of the proposed site and must also conduct a visual on-site inspection of the land within 1,000 feet of the proposed site, traversing the land closely enough to identify small sinkholes or other karst features. The following documentation is required.

1. Where sinkhole probability maps exist, attach a copy of the map showing the location of the LMSA and all sinkholes within 1/4 mile.

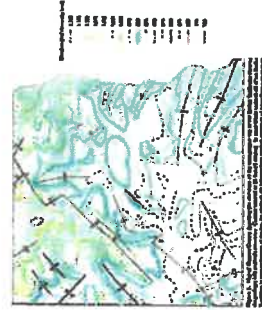
2. Attach a copy of an aerial photograph showing the location of the LMSA and all karst features within 1/4 mile. Number each karst feature on the aerial photograph and provide a description in the table below:

Feature Sketch ID and Description	Source of Information	Feature size and description	Distance from LMSA & Other Information
Ex. Depression in the landscape	Walk-over survey	12 ft. in diameter and 1-2 ft. deep	Located 500 ft. from LMSA
#1 <u>none</u>			
#2			
#3			
#4			
#5			
#6			
#7			
#8			

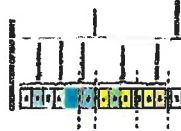




Map of the study area showing the location of the study area within the larger context of the county. The map is oriented with North at the top.



Geological map showing the distribution of different geological units. The map is color-coded to represent different geological formations.



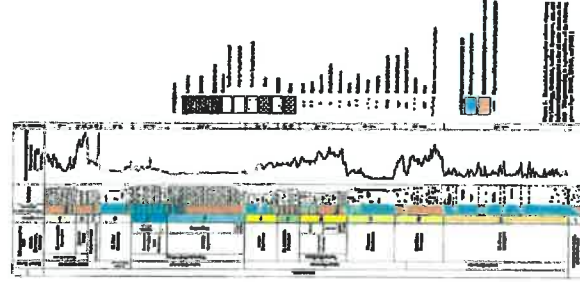
HYDROGEOLOGY

By
John H. Hering
1994

1. Introduction
2. Geology
3. Hydrogeology
4. Water Resources
5. Conclusions

1. INTRODUCTION

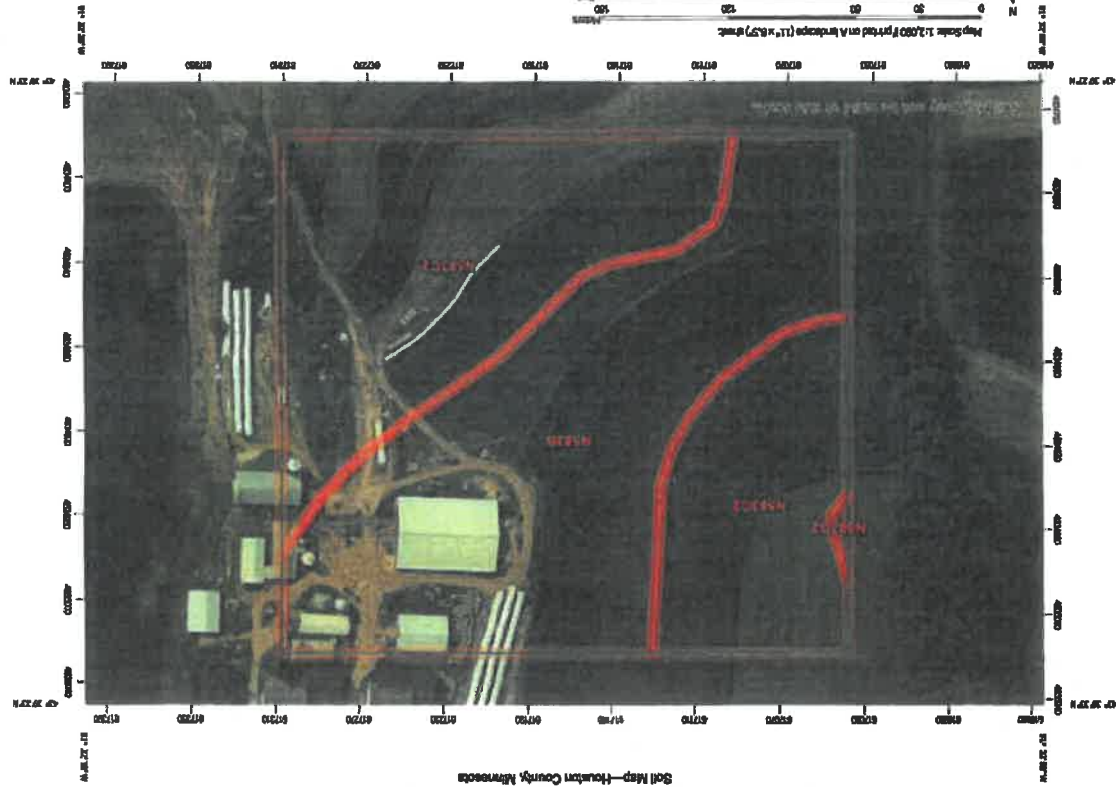
The purpose of this report is to provide a detailed description of the hydrogeology of the study area. The report is organized into five chapters: Introduction, Geology, Hydrogeology, Water Resources, and Conclusions. The Introduction chapter provides a general overview of the study area and the objectives of the report. The Geology chapter describes the geological formations and structures that underlie the study area. The Hydrogeology chapter describes the hydrogeological features and processes that control the distribution and movement of groundwater. The Water Resources chapter discusses the availability and use of groundwater resources in the study area. The Conclusions chapter summarizes the findings of the study and provides recommendations for future research and management.



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Soil Map—Houston County, Minnesota

3/21/2025
Page 1 of 3

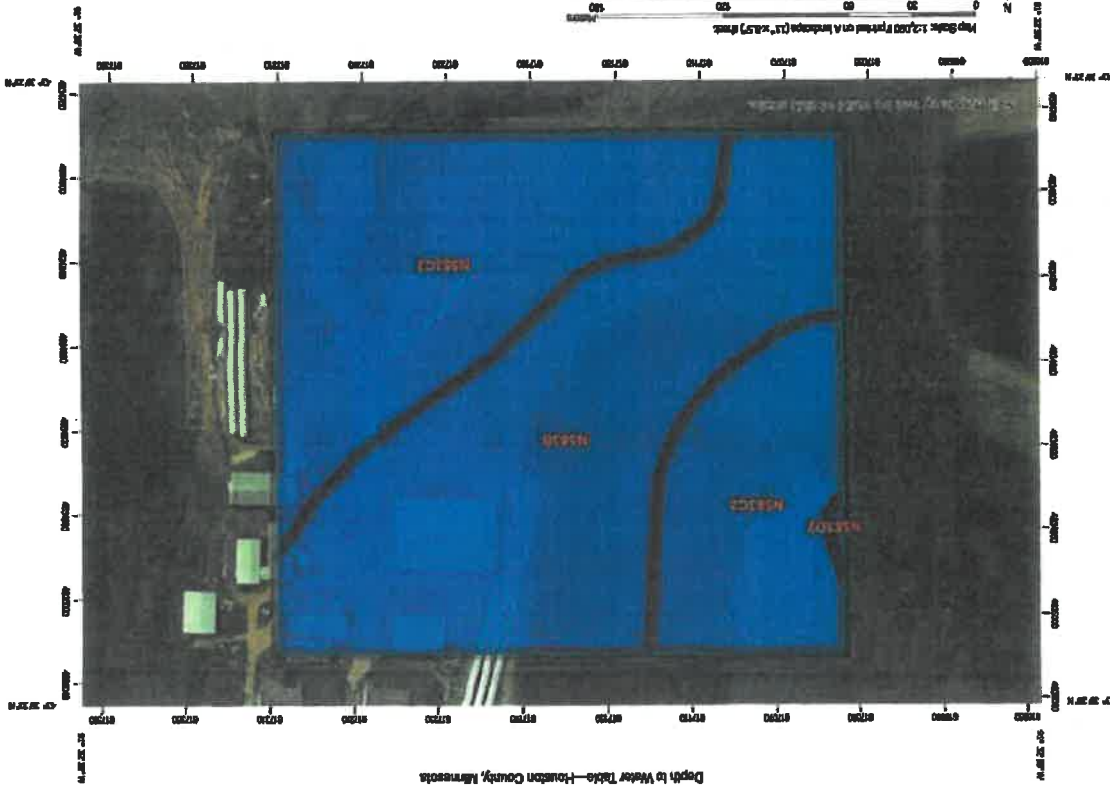


Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
N553B	Fayette silt loam, 2 to 6 percent slopes	7.9	47.5%
N553C2	Fayette silt loam, 8 to 12 percent slopes, moderately eroded	8.5	51.8%
N553D2	Fayette silt loam, 12 to 20 percent slopes, moderately eroded	0.0	0.5%
Totals for Area of Interest		16.5	100.0%

Depth to Water Table—Houston County, Minnesota

3/21/2025
Page 1 of 3



Depth to Water Table

Map unit symbol	Map unit name	Rating (percentile)	Area in A02	Percent of A02
N0303	Feyette all loam, 2 to 6 percent slopes	>200	7.8	47.8%
N0302	Feyette all loam, 6 to 12 percent slopes, moderately eroded	>200	8.5	51.5%
N0302	Feyette all loam, 12 to 20 percent slopes, moderately eroded	>200	0.0	0.2%
Totals for Area of Interest			16.3	99.5%

Description

"Water table" refers to a saturated zone in the soil. It occurs during specified months. Estimates of the upper limit are based mainly on observations of the water table at selected sites and on evidence of a saturated zone, namely grayish colors (pedomorphologic features) in the soil. A saturated zone that lasts for less than a month is not considered a water table.

This attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

Rating Options

- Units of Measure: centimeters
- Aggregation Method: Dominant Component
- Component Percent Cutoff: None Specified
- Tie-break Rule: Lower
- Interpret Nulls as Zero: No
- Beginning Month: January
- Ending Month: December



ENGINEERING, INC.
77402 U.S. Hwy 71
P.O. Box 161
Jackson, MN 56143
507-841-3269
info@proageng.com

TO: OWNER

INSTRUCTIONS FOR OWNER TO FOLLOW BEFORE—DURING—AFTER CONSTRUCTION OF MANURE STORAGE

1. Distribute only complete sets of plans and specifications: Keep a record of who gets plans because you may need to retrieve them later. Please call if you need more copies.
2. Ask your feedlot officer to send a copy of your feedlot permit to ProAg Engineering, Inc.. We need this so we know who issued the permit and where reports should be sent.
3. Each Contract for construction of the liquid manure storage (Concrete, tiling earthen basins) should include the following statement:
 - 10% of the contract amount will be held back until the MPCA Construction Inspection of Liquid Manure Area form has been signed by the Contractor and returned to the Engineer and Engineer certifies that the contract work is complete.
4. A Pre-Construction Meeting shall be held before you start construction. The pre-construction meeting must include the Owner, Engineer, Excavating Contractors, and County Feedlot Officer. If you start construction without a pre-construction meeting, we reserve the right to cancel our contract
5. You must notify ProAg Engineering, Inc. and the Permitting Agency:
 1. Three days before you start construction.
 2. Three days before you backfill.
 3. Within three days of completion.
6. Pictures should be taken as the work progresses. This is good protection for you because if problems develop later, you will have a record of what was done. If the Engineer finds problems during inspection, he may request copies of the pictures. Close up pictures showing details are more important than panoramic views. Suggest using single use or digital cameras.
7. MPCA requires that the design engineer submit a written construction report. We cannot do our final inspection and impact hammer test until the concrete is at least 28 days old and all accessory details shown on plans and specs are completed. Then allow at least 2 weeks for us to inspect and write our report.
8. DO NOT make a final payment to contractor until the Engineer's certifies that work is complete.
9. DO NOT put manure in the structure until you have received Engineer's Construction Report.

INSPECTIONS: *ProAg Engineering, Inc. must inspect before pouring concrete

Owner: _____

Location: _____

Barn or Tank Identification: _____

Date: _____ Comment: _____ Initials: _____

Subgrade (No standing water or mud, forms set for proper floor thickness)

Floor Reinforcement (Grade, size, clean, location)

*Pouring Floor (Concrete quality, take test cylinder)

Floor (Cracks sealed)

Perimeter Tile, Monitoring Port or Sump & Pump, Tile Outlet (Functional before forming walls)

Wall Forms and Reinforcement (Grade of steel, spacing, vertical reinforcement secured)

*Pouring Walls (Concrete quality, take test cylinders)

Water Supply Lines (None permitted through pit floor or walls below the HW line)

Outside of Walls (Honeycomb patched prior to backfilling)

Inside of Walls (Honeycomb patched)

Walls (Do Impact hammer test)

Columns (Honeycomb patched)

Beams Grouted (First 3 beams at end walls and each side of solid divider walls)

Slats Grouted (Prior to backfilling)

Backfill (Height and slope to drain roof away from barns)

Finish Grading (Roads, drives, storm water catch basins & drainage)



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Nicholas J. Rowe, P.E.
77402 U.S. Hwy 71
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Jackson, MN 56143
507-841-3289
njs@proaginc.com

PRE-CONSTRUCTION MEETING

PROJECT: _____ **DATE:** _____

LOCATION: _____ 1/4, SECTION _____ TWP. _____ CTY _____

OWNER: _____ **PHONE:** _____ (to
Owner's Representative
conduct weekly inspections for SWPPP and notify Engineer and Feedlot Officer.)

GENERAL CONTRACTOR _____ **PHONE:** _____
Contact _____

EXCAVATION CONTRACTOR _____ **PHONE:** _____
Contact _____
Date to start excavation work _____

CONCRETE CONTRACTOR _____ **PHONE:** _____
Contact _____
Date to start concrete work _____

CONCRETE READY MIX _____ **PHONE:** _____
Contact _____

PRE-CAST CONCRETE _____ **PHONE:** _____
Contact _____

GROUTS, BEAMS AND SLATS _____ **PHONE:** _____
Contact _____

FEEDLOT OFFICER _____ **PHONE:** _____

ELECTRICAL INSPECTOR _____ **PHONE:** _____

ENGINEER _____ **PHONE:** _____

PRE-CONSTRUCTION MEETING CHECK LIST
OW-Owner, OR-Owner's Representative, CC-Concrete Contractor,
EC-Electrical Contractor, EN-Engineer, EX-Excavator, PC-Precast Supplier

ITEM	RESPONSIBILITY
1) Telephone directory	_____
2) Port-a-potty or Johnny-on-the-spot	_____
3) Storm Water Pollution Prevention Plan, SWPPP, weekly inspections.	_____
4) Stake out buildings and pits	_____
5) Locate underground utilities	_____
6) Call UTILITIES CALL CENTER	_____
7) Notify Engineer three days before starting	_____
8) Notify Engineer three days before backfilling	_____
9) Notify Electrical Inspector for grounding inspections	_____
10) Notify Engineer four hours before each concrete pour	_____
11) Temporary electrical power	_____
12) Temporary Water	_____
13) Telephone service	_____
14) Layout workite, limits of workite	_____
15) Equipment and employee parking	_____
16) Dirt stockpile area	_____
17) Construction materials stockpile area(s)	_____
18) Keep traffic off septic drainfield area(s)	_____
19) Security (daytime, night time)	_____
20) Bio-security	_____
21) Refuse disposal dumpster/burn pit	_____
22) Concrete truck wash-out area	_____
23) Does everyone have correct plans?	_____
24) At completion of construction, notify Engineer for final inspection	_____
25) Contractor sign MPCA Construction Report	_____

SPECIFICATIONS for Concrete Lined Manure Storage Areas**01001 QUALITY ASSURANCE AND CONTROL PLAN**

Work under these specifications is subject to County and MPCA inspection and review.

A. BEFORE STARTING CONSTRUCTION, Owner shall:

1. Consult the feedlot permit for required submittals, notifications and approvals.
2. Arrange for pre-construction meeting with engineer, owner and contractors.
3. Notify engineer, 3 days before starting construction.
4. Notify permitting agency (MPCA or County) 3 days before starting construction.

B. DURING CONSTRUCTION, Concrete Contractor shall:

1. Notify Engineer, minimum 4 hrs before each concrete pour.
2. Wait for Engineer's inspection before pouring concrete.
3. Concrete testing will occur at a minimum of one sample per 100 yards of placed concrete. Testing will include: Air/Slump/Strength per ASTM standards. Sampled concrete will be later tested at a certified testing facility to determine PSI strength requirements and quality assurance.
4. If concrete is provided by different supplier or with different mixes, additional testing will be done on the first truck according to ASTM standards. Engineer must be notified immediately if any change does occur.

C. BEFORE POURING CONCRETE PIT FLOORS; the following must be completed:

1. Contractor give Engineer & Electrical Inspector advance notice.
2. Engineer inspect subgrade and floor slab thickness (full 5' thick).
3. Engineer inspect grade and placement of reinforcing steel.

4. Steel shall be supported on chains and tied.
5. Perimeter tile shall be laid at least 12 inches from pit wall and covered with pea rock or 1/4" - 1/2" crushed rock.

6. Grounding inspection by Electrical Inspector.

Placement of the perimeter tile and rock cover shall be done by the Concrete Contractor. Tile and rock provided by Owner.

D. BEFORE POURING CONCRETE PIT WALLS; the following must be completed:

1. Contractor give Engineer & Electrical Inspector advance notice.
2. Engineer inspect forms, reinforcing steel, watershed and tile.
3. Tile system shall be working with (temporary or permanent) automatic sump pump or daylight outlet.
4. Grounding inspection by Electrical Inspector.

E. BEFORE BACKFILLING; items 1 thru 4 must be complete, then Owner notify Engineer, and MPCA or CFO and allow 3 work days for inspection.

1. Concrete contractor shall have patched all cracks and honeycomb.
2. Pre-cast concrete beams, sills and slabs in place and grouted.
3. Permanent tile sump pump or inspection port set in-place, (braced if necessary) and ready for backfilling.
4. All organic debris shall be removed from the overdig area.
5. Engineer must inspect items 1 thru 4 and approve before backfilling.

SPECIFICATIONS for Concrete Lined Manure Storage Areas**F. UPON COMPLETION, Owner shall notify Engineer when all of these items are done.**

1. Backfilling and finish grading completed.
2. Pumpout covers and safety signs installed.
3. Concrete Contractor sign MPCA Construction Inspection Form.

G. ENGINEER shall conduct inspections as specified in Section 03001.B. and submit construction report to Owner and Permitting agency.**01301 DESIGN CHANGES**

Design changes must be approved in writing by both the Owner and the Engineer before proceeding with the work. Some design changes may also require MPCA, COUNTY and/or NRCS approval.

01401 SITE SURVEY

The Contractor shall be responsible for layout of the work. Bidders must visit the site and acquaint themselves with existing conditions. Contractor shall CALL GOPHER-1 and be responsible for location of existing utilities in areas of work.

01501 SUBSURFACE INFORMATION

All available data relating to the subsurface material and conditions that are based upon test borings has been obtained by the Engineer for his/her own use in designing the project. Its accuracy or completeness is not guaranteed by the Owner or Engineer and in no event is it to be considered a part of the contract plans or specifications.

02101 EARTHWORK

- A. This section applies to earthwork (excavation and backfill) for concrete lined manure storage pits and tanks.
- B. Remove one foot (1") of topsoil under all concrete lined manure tanks. Save topsoil for finish grading.
- C. Removal of water: All excavations, fill, grading and embankments shall be maintained in a well drained condition at all times. The Contractor shall have temporary pumping equipment on site to remove water from trenches and excavations until the perimeter tile system is working.
- D. Any over-excavation for concrete footings and slabs on grade shall be backfilled with compacted sand/gravel.
- E. **WARNING Engineer must inspect outside of wall and tile and give approval before backfilling.** See Section 01001.
- F. **CLEAN BACKFILL TRENCH.** All organic material, cardboard, wood, paper, straw, etc. shall be removed from trench before backfilling. These materials will decay and contaminate the perimeter tile system.

SPECIFICATIONS for Concrete Lined Manure Storage Areas

G. Do not backfill against concrete walls until the concrete has cured at least 7 days and all slat and slab floors and beams are in place and grouted to properly brace the walls. Exercise caution when backfilling to bring up the level uniformly on all sides of tanks and pits. Keep all heavy equipment back from the pit and tank walls a distance equal to the depth of the fill. Top off backfill with one foot (1') of topsoil, disk and leave smooth for planting grass.

02401 PERIMETER TILE SYSTEM

MPCA Rules: Where a perimeter tile system is required to control the elevation of the water table or saturated soils, it must lower the water table or saturated soils to below the bottom of the storage liner. Perimeter drainage tile shall be located at least one foot outside of the footing of the concrete-lined manure storage areas. Each manure storage area shall have a dedicated drain tile system with a dedicated riser, manhole or other access for collection of tile-water samples.

A. PERIMETER TILE shall be 4 inch (unless otherwise shown on plans) heavy duty perforated corrugated polyethylene plastic agricultural drain pipe. Tile shall be bedded and covered with pea rock or 1/4" - 1/2" crushed rock.

B. EXISTING TILE LINES interrupted during trenching for the perimeter tile system shall be removed back 10 feet from the tank wall. Existing tiles shall be connected to a suitable bypass tile system. Do NOT correct existing area tile lines to the perimeter tile system, unless authorized by the Engineer.

C. GRAVITY OUTLET FOR PERIMETER TILE shall not be used where flood water may backup into the tile and contaminate the dedicated sampling port. This tile outlet shall have a rodent guard. The tile outlet may serve as dedicated sampling port, when it is easily accessible and will never be inundated and contaminated by flood water.

D. SLUMP PUMPS shall be required whenever a gravity outlet is not available. On sites with more than one below ground manure storage structure, only one common sump pump system is required, but each structure must have an individual sampling port.

E. PUMP shall be submersible type with 20 feet heavy duty electrical cord. Pump shall have an adjustable piggy back float switch. Pump shall be capable of 25 GPM at 15 feet head. Pump shall be fitted with a discharge hose or pipe equal or larger than the discharge of the pump. Furnish and install fused weatherproof disconnect switch, plug and receptacle for each pump. Plug type connections should be used for quick exchange of pumps by farm workers.

F. ALTERNATE PLAN to dewater the site in advance of general excavation shall be decided by the owner, engineer and contractor at time of the pre-construction meeting. If the tile is installed in advance of excavation, it should be installed 4 feet out from the pit wall and at least 2 feet below the top of the pit floor. Slope the tile at 0.2 feet per 100 feet to the sump or daylight outlet. Plow type machines shall NOT be used when installing perimeter tile around concrete manure storage structures prior to general excavation, because it will loosen soil under wall footing. Use only a backhoe or trencher.

G. CLEAN BACKFILL TRENCH. All organic material, cardboard, wood, paper, straw, etc. shall be removed from trench before backfilling. These materials will decay and contaminate the perimeter tile system.

SPECIFICATIONS for Concrete Lined Manure Storage Areas

02801 SEWER SYSTEM

A. Sewer system consists of drains from the barns, cleanouts, sewer main, sewer outlet into concrete tanks and earthen basins, and level control between lagoon cells.

B. Gravity sewer pipe (non-pressurized) shall be PVC SDR-35 with gasket or glued joints. Sewer cleanouts (CO) shall be located as shown on the plan.

C. All holes for pipes passing through floors and walls shall be sealed water tight.

02701 FENCE AND GATES

All open top concrete tanks less than 4 feet of wall above ground and earthen manure storage basins shall be fenced. Fence and gates shall be child and livestock proof to prevent unsupervised access.

02801 SIGNS

The Owner shall post warning signs every 100-150 feet around open top tanks and earthen basins: "DANGER, DEEP WATER, KEEP OUT". Post warning sign at each manure pit, reception pit, pumping station and manhole where a 'confined space' may contain manure gases: "DANGER, POISONOUS GAS IN PIT, KEEP OUT".

02801 OTHER WORK

The Owner shall be responsible for putting child-proof fences around open top tanks and child-proof covers on all sumps, pump out ports and providing and utilizing safety guard fences around pump outs when open.

03000 PRECAST CONCRETE

A. The Precast manufacturer shall submit design data for checking load capacity of the precast system or an Engineer's Certification that the pre-cast components meet the following design loads. For design of beams, slabs and slats refer to Concrete Manure Storage Handbook, MWPS-36, by Midwest Plan Service.

Type of barn	Solid slabs & beams	Slats
Hog nursery barns	35 psf	50 pif
Hog finishing barns	80 psf	125 pif
Sow & boar barns	65 psf	150 pif
Add an additional 180 pif on the edge(s) of slabs that support farrowing stalls.		
Dairy free-stall barns	100 psf	250 pif
Dairy holding & handling pens	125 psf	312 pif

B. To properly brace pit or tank walls, space between ends of beams, slats and slabs shall be filled with grout and allowed to set 3 days before backfilling.

03001 CAST IN PLACE CONCRETE

SPECIFICATIONS for Concrete Lined Manure Storage Areas

CONTRACTOR shall give copy of this page to Ready Mix Plant prior to bidding.

Concrete 28 day compressive strength, f _c , psi	Aggregate, max.	Fibermesh
Floors & Floors	2"	none
Walls	1.5"	none
Columns	1.5"	none
Slump	3" - 6"	
Air entrained	5% - 7%	
Water:cement ratio	0.5	

Fly Ash, maximum 20% of cementitious material. Silica Fume, maximum 20% of cementitious materials. The combination of fly ash and silica fume shall not exceed 35% of total cementitious materials. Fly ash and silica fume will increase resistance to sulfates and reduce permeability. CAUTION: fly ash slows curing, especially in cold weather.

To minimize shrinkage cracks in floors, minimize the amount of cement-water paste and maximize the amount of large aggregate. The use of water reducing plasticizers is encouraged. Contractor may order water reducing or other admixtures, except calcium chloride shall not be used.

B. INSPECTIONS AND TESTING.

1. Inspection before each concrete pour shall include evaluation of subgrade, forms, waterstop, placement and grade of reinforcing steel.
2. Concrete shall be sampled and tested for temperature, entrained air, slump and strength (test cylinders) as per ASTM C-94. Minimum of one sample per 100 yards placed.
3. The Inspector shall forward the inspection report including results of the ASTM tests to the Engineer.
4. The Engineer may request core samples be taken for any concrete of questionable strength or quality. All such concrete found to be defective shall be removed and replaced by the Contractor. If concrete is provided by different supplier or with different mixes, additional testing will be done on the first truck according to ASTM standards. Engineer must be notified immediately if any change does occur.

C. WATERSTOP shall be 3/4" x 3/8" Waterstop RX; 3/4" x 1" Swelstop; Synto-Flex; Hydro-Flex waterstop; Green-streak, Con-Seal CS-231, 220 or 102, or approved equal. These materials come in paper-backed coil or strips and shall be applied as per manufacturer's instructions.

D. All steel in the concrete floors and walls in livestock buildings must form an EQUIPOTENTIAL PLANE and be bonded to the electrical system. This must be coordinated with the Electrical Contractor and will require inspection by the Electrical Inspector prior to each pour of concrete.

E. REINFORCING STEEL shall be deformed bars, fy = 60,000 psi (Grade 60)

Steel details for deformed bars	#4 Bars	#5 Bars
Bar bending radius, minimum 6d3	4"	
Lap splices, minimum 6d3	20"	25"
Bend around corner, minimum 40d	24"	30"
Rods through construction joints	30"	38"

SPECIFICATIONS for Concrete Lined Manure Storage Areas

Rods through construction joints 30" 38"

F. Steel reinforcement shall be tied and supported on chairs, bolsters, spacers and other devices. Dowels and rods extending through construction joints shall be secured in positions against displacement before concrete is placed and shall be cleaned before subsequent pouring.

G. Preparation of Forms and Subgrade: Prior to placement of concrete, the forms and subgrade shall be free of wood chips, sawdust, debris, standing water, ice, snow, extraneous oil, mortar and other harmful substances or coatings. Placement of concrete on mud, dried earth, uncompacted fill or frozen subgrade will not be permitted.

H. Excavations shall be made to the dimensions and elevations indicated on the drawings. Should excavation through error be carried to a greater depth or size than indicated or required, such additional depth or size shall be filled with concrete at the CONTRACTOR'S EXPENSE.

I. Tolerances: Elevations of floor slabs, top of walls, silt ledges, beam pockets and top of columns ± 1/4". Horizontal length and width of top of wall, location of beam pockets and columns ± 1/2". Straightness of top of wall ± 1/4". Anchor bolt spacing ± 1", centered in stem wall ± 1/2". Thickness of floor slab shall not be less than 5 inches at any point.

J. Shrinkage cracks and honeycomb areas shall be filled with a mixture of masonry cement and water of medium consistency and brushed into the cracks with a stiff brush. Honeycomb areas shall: 1) have loose stones hammered out, 2) be wetted by brushing in a watery paste of masonry cement, 3) and filled and sealed with mixture of masonry cement with sand.

K. COLD WEATHER. When for more than 3 consecutive days the mean daily temperature drops below 40°F, the contractor shall place and protect the concrete in accordance with ACI 308.

L. HOT WEATHER CONSTRUCTION. When it is likely that temperature between 80°F and 100°F will be approached or exceeded; that low relative humidity is present; or wind velocity will exceed 10 mph, the contractor shall place and protect the concrete in accordance with Chapters 4 & 5 of ACI 305.

M. Freeze/Thaw & Non-Use Protection, Long & Short Term After Construction: After the concrete pit is constructed and prior to its use or during non-use, the concrete floor and subgrade must be protected from freezing. If the pit is empty when the ground surface around the pit begins to freeze, a minimum liquid depth of 2 feet must be added to the pit to prevent freezing the subgrade below the floor. If the barn and pit are not being used for any extended period of time throughout the year (minimum of 60 days), a minimum liquid depth of 2 feet must be maintained in the pit to prevent freezing, groundwater pressure heaving, etc. The barn can also be heated during non-use times during cold weather to prevent freezing in the bottom of the pit instead of placing or leaving additional liquid in the pit.

"These are recommendations and are not intended to meet the requirements of a site specific SWPPP for an NPDES Storm Water Discharge Permit.

Description of the site:

The site is currently cropland. The project consists of construction of a manure concrete storage pits. After construction, the area surrounding pit will be planted to grass.

Construction Sequence and Best Management Practices (BMP's)

1. The construction site shall be planted to grass (or cover crop) prior to commencement of construction. See Grass Seeding Guidelines.
2. Areas not to be disturbed during construction shall be staked and marked. Considerable rain water and sediment can be trapped on areas planted to grass and not compacted by construction traffic.
3. Install silt fence as shown on the site plan as needed to prevent erosion.
4. All drive entrances shall be protected with rock. Install road culvert(s) as per highway department specifications.
5. Build a berm to prevent field water from entering the construction site. Make berm 18-24" high with 3:1 side slopes. Use loose top soil from the barn area. A berm is an alternative to using silt fence. The loose soil will absorb a lot of water. Construct the berm on the contour with no channel on the up-hill side of the berm.
6. Temporary stockpiles shall have silt fence or other effective sediment controls and cannot be placed in stormwater conveyances, ditches or grass waterways.
7. Dewatering of pits and basins shall be done in a manner that does not cause nuisance conditions or discharges onto down-slope property. Rain and ground water in pit excavations shall not be allowed to flow direct into open file, unless the file has silt fence or other protection or the perimeter file is installed and covered with pea rock or crushed rock.
8. After backfilling and final grading is done, those areas shall be planted to grass. Slopes steeper than 5:1 shall be mulched. All seeding and mulching operations shall commence within 1 week after completion of each portion of the construction or as soon as soil conditions permit. See Grass Seeding Guidelines.
9. After berms are removed and backfill around barns is re-graded (the following spring) those areas shall be re-seeded to grass.
10. Final stabilization is achieved when soils have been stabilized by a uniform perennial vegetative cover over at least 70% of the pervious area, and all drainage ditches and grass waterways have been stabilized, then the silt fence may be removed.
11. The Owner shall keep the plans and records on file for a minimum of six (6) years.

Maintenance of BMP's

1. Owner shall inspect all BMP's weekly and within 24 hours after each rain event of 1/2" or more in 24 hours.
2. Silt shall be removed from behind silt fences within 24 hours of when the depth reaches 1/3 the height of the fence.
3. Mud and crushed rock are tracked onto public roads, it shall be removed within 24 hours.
4. If sediment escapes the site, off-site accumulations must be removed in a manner and frequency sufficient to minimize off-site impacts.

Assignment of Responsibilities for Execution of the SWPPP

Page - 1

1. Owner shall be responsible for execution, inspection, record keeping and up-dating The SWPPP as required in Appendix C of the NPDES Feedlot Permit. See form for the Storm Water Pollution Prevention Plan Record.
2. Owner shall inspect all BMP's weekly and within 24 hours after each rain event of 1/2" or more in 24 hours and supervise proper maintenance of erosion and sediment control practices.
3. Earthwork Contractor shall be responsible for implement, manage and maintain both temporary and permanent erosion and sediment control BMP's (except seeding) until final grading has been completed on site.
4. Owner shall be responsible for seedbed preparation, planting and mulching operations prescribed by the SWPPP.
5. Changes to the SWPPP shall be approved and recorded by Owner prior to implementation.

Grass Seeding Guidelines

All in-place topsoil shall be salvaged to the maximum extent possible. It is ideal to place 8 inches of top soil in areas to be seeded. Harrowing before and pecking with roller after planting will help germination, make the ground smoother and easier to mow. Seeding mixture and rates are recommendations based on DOT specs. Fertilizer is important for quick growth. Mixtures 250 and 280 can be mowed.

Temporary seeding: Fertilizer 10-10-20 at 200 lbs/acre.

- Oats at 100 lbs/ac for spring/summer seeding of areas that will be left undisturbed for 21 days or more.
- Winter wheat at 100 lbs/ac for fall seeding of areas that will be disturbed again in the spring, such as backfill around barns.

Turf and agricultural grasses: Fertilizer 20-10-20 at 350 lbs/acre.

General Roadside mix.	
Brome grass, smooth	9.8 lbs/ac
Bluegrass, Kentucky "Certified Park"	20.3
Bluegrass, Canada	8.8
Switch grass	2.1
Wheat-grass, slender	2.8
Rye-grass, perennial	14.7
Timothy	2.1
Redtop	2.1
Alfalfa, creeping	4.2
White clover	2.1
Total	3.0
70 lbs/ac	
Agricultural Roadside mix.	
Alfalfa, creeping	15 lbs/ac
Brome grass, smooth	10
Redtop	3
Rye-grass, perennial	15
Switch grass	2
Timothy	2
Wheat-grass, slender	3
Total	50 lbs/ac
30.0%	
Brome grass, smooth	20.0
Redtop	6.0
Rye-grass, perennial	30.0
Switch grass	4.0
Timothy	2
Wheat-grass, slender	6.0

Page - 2

OPERATION, INSPECTION AND MAINTENANCE PLAN

NEED FOR OPERATION, INSPECTION AND MAINTENANCE PLAN

Although this Waste Storage Structure has been designed in accordance with MPCA recommendations and its based upon the best available technical knowledge, it must be recognized that any Waste Storage Structure needs to be properly maintained, including periodic inspection. You, the Owner, are responsible for this Waste Storage Structure. The following guidelines for safe operation and maintenance are recommended.

- (1) routine inspections, maintenance and record keeping to be completed to identify and document damage to the liner.
- (2) methods to be used to repair areas of damaged liner;
- (3) methods used to monitor the liquid level in the basin to evaluate proper operation and adequate available storage capacity; and
- (4) routine inspections of perimeter tile line outlets and inspection manholes to ensure proper operation of the system.

Annually, the liquid will be mixed and removed for land application. Liquid level in the pit(s) shall be monitored quarterly (4 times per year) and after any water line breaks or abnormal additions to the pit. The level shall be measured using a rod or wood stick and the depth recorded.

SEMI-ANNUAL INSPECTION OF LIQUID STORAGE AND HANDLING SYSTEMS

Establish a time each spring and fall for a thorough inspection of the liquid storage and handling systems.
DO NOT ENTER COVERED PITS & TANKS.

All concrete storage tanks and reception pits shall be inspected to evaluate the outside of structures for cracks and deterioration of concrete. Any cracks showing discharge of liquid shall be inspected by an engineer and repairs done as prescribed by the engineer.

Maintain the following in proper working order.

- 1) Finish earthwork around the structure should be designed to carry runoff away from the foundation. Rainwater diversions to direct 'clean' water away and 'dirty' water into storage facilities. Grass should be established in these areas not covered by concrete and gravel.
- 2) Childproof covers must be placed upon the pumpouts. Open pumpouts should never be left unattended.
- 3) Warning signs shall be posted to prevent children and others from using the pit other than the intended use.
- 4) Animal wastes shall be handled and utilized as specified in the Manure Management Plan.
- 5) The Waste Storage Structure requires continuous ventilation to safely remove poisonous and noxious gases. Manure agitation will release large amounts of gas and may create a hazardous situation. Ensure that the ventilation fans are operating before agitation and, if possible, evacuate the building.
- 6) Manure pits that contain bearing divider walls should be emptied using a modified pumping plan. All manure sections should be partially emptied to prevent possible divider wall failure. Removal of about 3' of manure is recommended from each section before complete emptying of any one section is undertaken.
- 7) No person should enter a Waste Storage Structure without proper training and without wearing a self-contained breathing device. A second person should remain outside of the structure and should have an immediate means of removing the person inside the structure in an emergency.
- 8) Regular quarterly inspections should be made of the structure and its surroundings for leaks, concrete deterioration and pumpout cover conditions. Inspection of the slats for signs of deterioration is advised.
- 9) Concrete should be inspected for large cracks and exposed reinforcing steel. Joints should be checked for unusual openings.
- 10) Concrete surfaces should be quarterly inspected for erosion, scaling and exposed reinforcing steel.

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- 11) Perimeter tile, sump pumps, sampling ports and rodent guards at outlets.

- 12) The structure walls are designed to resist earth loads only. Do not operate any equipment on this surface.

- 13) The beam and flooring system is designed for animal loads only. Do not operate any equipment on this surface.

- 14) If, during the inspection, serious defects are discovered, remedial actions may be required. The County Feedlot Officer and Engineer should be contacted and possible the MPCA.

RECORDS

Record the inspections, evaluations and maintenance done in a spiral bound notebook. Also take and date pictures before and after any maintenance work is done on cover and liquid storage and handling facilities.

PERIMETER TILE MONITORING AND CONTINGENCY PLAN

INSPECT PERIMETER TILE AT LEAST ONE WEEK BEFORE EMPTYING STORAGE

All below ground waste storage structures require perimeter tile to relieve the hydrostatic pressures which would otherwise damage the sides of the concrete tanks and manure storage pits under berms. There is a serious problem if the water level in the sump or inspection port is above the pit floor.

It is very important that the ground water level be lowered prior to emptying the manure storage pit. It may take a week or more for the system to lower the ground water pressure once the problem has been corrected.

BASE LINE SAMPLING

It is recommended that base line sampling be done before manure is put in the storage facility to document any pre-existing contamination that may be in the soil. This is especially important if the site is in an old barnyard area or has received heavy applications of manure for many years.

Base line samples should be collected at least two (2) times prior to the addition of manure into the waste storage structure. If there is no flow from the tile, sampling shall begin as soon as water is available for sampling. Each 'base line' sampling event shall be scheduled at least two (2) weeks apart.

1. The Owner shall contract with an independent laboratory to collect and analyze the samples. The laboratory must be certified. The laboratory report shall include: Chain of custody record, date, parameter, method used, results, units.

2. The water quality parameters to be monitored are:

Total Kjeldahl Nitrogen	Nitrate Nitrogen
Nitrite Nitrogen	Ammonium Nitrogen
Dissolved Oxygen	Chloride
Sulfate	Total Phosphorus
Fecal Coliform	pH
Temperature	Specific Conductivity
Flow (as determined by time to fill 5 gallon pail)	

CHANGE IN TILE WATER COLOR OR ODOR

If visual observation of the tile water indicates a change in color or odor, then a more urgent response is necessary. A change in color or odor may be caused by either soil and/or manure water. If this should occur, immediately stop all discharge to field tile. Notify the MPCA or Engineer immediately.

Install a sump pump and discharge the tile water onto a vegetated filter strip area. If necessary, plug the line going to field tile with bentonite 'chips'. Bentonite chips may be obtained from your well driller.

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**HOUSTON COUNTY
BOARD OF ADJUSTMENT AND
PLANNING COMMISSION AGENDA
Thursday, May 22, 2025**

*Hearings are in the Houston County Commissioner's Room.
Please enter through the west entrance. Doors will open at 4:45 pm.*

BOARD OF ADJUSTMENT

Approve Minutes for April 24, 2025.

VARIANCE HEARINGS:

- 5:00 pm ***Robert and Lori Ellenz – Caledonia Township***
Variance to reduce setback requirements for expansion of an existing feedlot from a dwelling (33-33.16 Subd. 5).
- 5:15 pm ***Tom and Judy Vix – Houston Township***
Variance to reduce setback requirements for a proposed dwelling from an existing feedlot (33-33.16 Subd. 6).

PLANNING COMMISSION

Approve Minutes for April 24, 2025.

CONDITIONAL USE HEARINGS:

- 5:40 pm ***James and Suzanna Gulbranson – Spring Grove Township***
Conditional Use Permit to build a dwelling in the Agricultural Protection District (14-14.3 Subd. 1 (10)).
- 6:00 pm ***Luke Schuttenhelm and Miranda Johnston – Money Creek Township***
Conditional Use Permit to build a dwelling in the Agricultural Protection District (14-14.3 Subd. 1 (10)).
- 6:20 pm ***Brooke Johnston – Money Creek Township***
Conditional Use Permit to build a dwelling in the Agricultural Protection District (14-14.3 Subd. 1 (10)).

OTHER BUSINESS:

- 6:40 pm ***Public Hearing and Intent to Adopt an Ordinance***
Discussion on the proposed ordinance regulating commercial solar and related comprehensive land use plan amendments in Houston County and possible extension to the interim ordinance.

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE:

That an application has been made by James and Suzanna Gulbranson, 106 W Alleyway; P.O. Box 144, Spring Grove, MN 55974, for a Conditional Use Permit to build a dwelling in the agricultural protection district (Section 14 – 14.3 Conditional Uses, Subdivision 1, Subsection 10) in Spring Grove Township on the following premises, to-wit:

PT SW1/4 NE1/4, Section 23, Township 101, Range 7, Houston County, Minnesota. (Parcel #13.0292.000)

Said applicants standing and making application are as fee owner of said described lands.

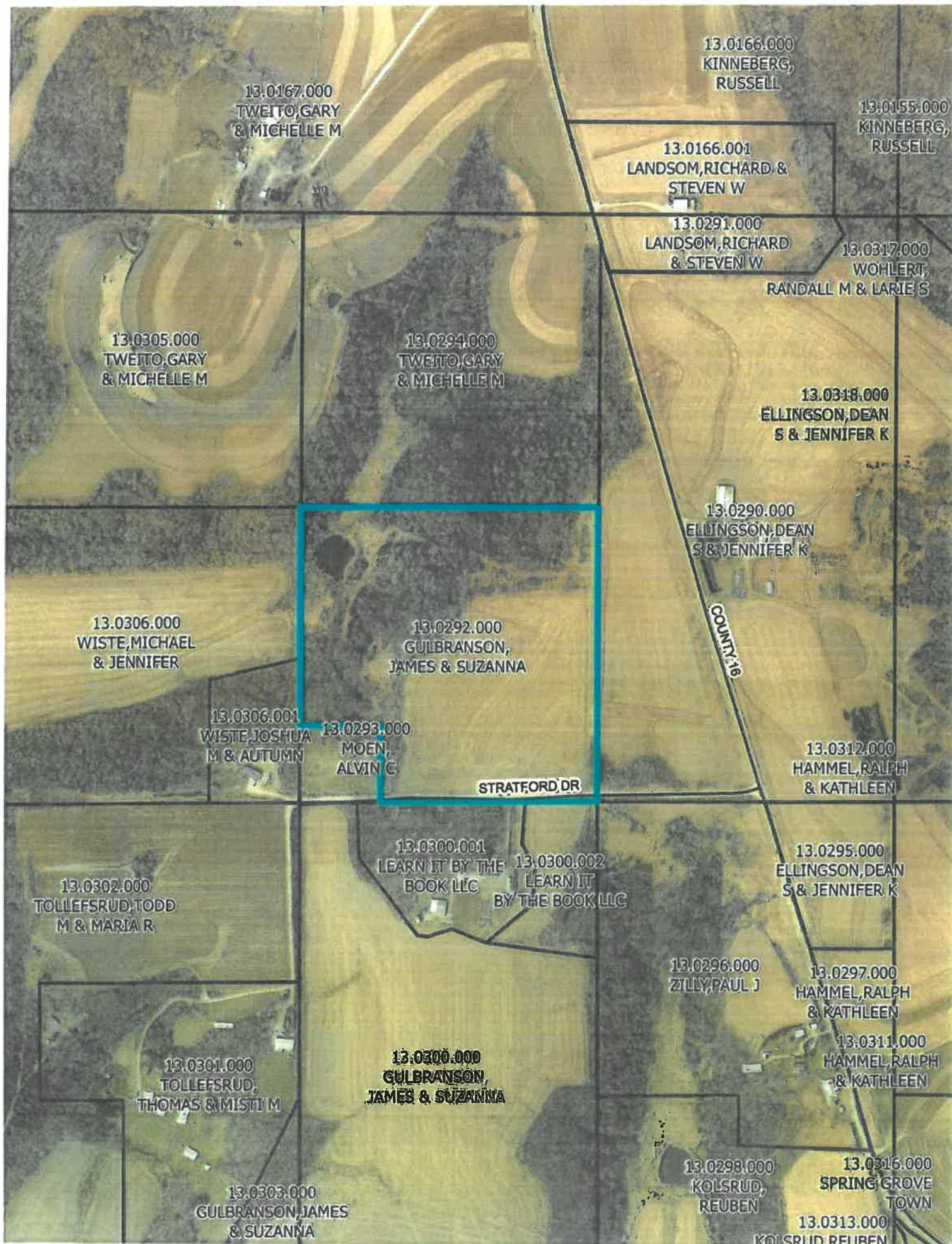
A hearing on this application will be held at the Houston County Commissioner's Room, City of Caledonia, Minnesota at 5:40 p.m. on Thursday, May 22, 2025.

All persons having an interest in the matter may attend the hearing or submit comments relative to the granting or denying of said application. Comments should be mailed to the Environmental Services Dept., 304 South Marshall Street – Room 209, Caledonia, MN 55921, or emailed to amelia.meiners@co.houston.mn.us, and must be received by Tuesday, May 13, 2025 to be included for review prior to the hearing. All comments are considered public record.

HOUSTON COUNTY PLANNING COMMISSION

By Amelia Meiners
Zoning Administration

ADV: May 7, 2025





HOUSTON COUNTY ENVIRONMENTAL SERVICES

Solid Waste • Recycling • Zoning
304 South Marshall Street – Room 209, Caledonia, MN 55921
Phone: (507) 725-5800 • Fax: (507) 725-5590



STAFF REPORT 5/14/2025

Application Date: 4/15/2025
Hearing Date: 5/22/2025
Petitioner: James & Suzanna Gulbranson
Reviewer: Amelia Meiners
Zoning: Ag Protection
Address: TBD Stratford Drive
Township: Spring Grove
Parcel Number: 13.0292.000
Submitted Materials: CUP Application

OVERVIEW

REQUEST

The applicant is seeking a conditional use permit to build a dwelling on less than 40 acres in the agricultural protection district.

SUMMARY OF NOTEWORTHY TOPICS

This is a 39-acre parcel off Stratford Drive in Spring Grove Township. The applicants own other property in this area, but it is not considered contiguous thus requiring a conditional use permit. They would like to construct a small dwelling, 25' x 26' in size, for intermittent recreational use. Because the building is over 400 square feet and the applicants would like to connect to power and potentially well and septic in the future they need to permit this as a dwelling rather than a cabin as all of those items are prohibited for cabins under the Zoning Ordinance. The proposed location has not been row cropped in the last ten years and is an open meadow within a small timber stand adjacent to tillable acreage.

The Houston County Zoning Ordinance (HCZO) 14.3 subd.1 (10) requires the following:

- (10) *Dwellings. Single-family non-farm dwellings subject to the following:*
- (a) *No more than one (1) dwelling per quarter-quarter section.*
 - (b) *Non-farm dwellings built after the adoption of this Ordinance shall be setback at least one-fourth, (1/4), mile from all feedlots, except as otherwise provided in this Ordinance.*
 - (c) *Non-farm dwelling units shall not be permitted on land which is of soil classifications of Class I-III soils rated in the Soil Survey - Houston County by the U. S. D. A. Natural Resource Conservation Service, except in cases where the land has not been used for the production of field crops or enrolled in a government program whereby compensation is received in exchange for the removal of an area from production, for a period of ten years or more.*

(d) Non-farm dwelling units shall only be permitted on sites considered Buildable Lots as defined by this Ordinance, and shall not be permitted in areas classified wetlands, flood plain, peat and muck areas and other areas of poor drainage. Non-farm dwelling units shall not be permitted on land which has a slope of twenty-four (24) percent or greater. All non-farm dwellings must have an erosion control plan as required by Section 24.

(e) Non-farm dwelling units shall be required to be located on lots having ownership of at least thirty-three (33) feet of road frontage on a public roadway or a legally recorded perpetual access at least thirty-three (33) feet wide from an existing public roadway and a minimum lot area of one (1) acre.



Figure 1. Proposed dwelling location.

Further, the applicant should understand the purpose of the agricultural protection district is to retain land for agricultural production and the regulations are intended to minimize incompatibility between these residential and ag uses.

SECTION 14 - AGRICULTURAL PROTECTION DISTRICT

14.1 PURPOSE AND PUBLIC NOTICE

Subdivision 1. Purpose. The purpose of the Agricultural Protection District is to provide a district that will:

- (1) Retain, conserve, and enhance agricultural land in the County for agricultural uses.
- (2) Protect and preserve natural resources and environmentally sensitive areas.
- (3) Restrict scattered non-farm residential development in order to minimize incompatibility between agricultural uses and residential use, and to conserve the expenditure of public funds for new roads, road maintenance, schools, police and fire protection necessary to service scattered residential development.

Subdivision 2. Public Notice. Persons choosing to reside in the Agricultural Protection District are hereby notified that the agricultural district is a zoning district in which land is used principally and foremost for agricultural production.

Subdivision 3. Discomfort Resulting From Agricultural Uses. Owners, residents, and other uses of property in the Agricultural Protection District or neighboring properties may be subjected to inconvenience or

discomfort arising from normal and accepted agricultural practices and operation, including but not limited to the following:

- (1) Noise, odors, dust, and hours of operation.
- (2) The operation of machinery, including aircraft.
- (3) The production, storage and land application of animal manure.
- (4) The application of fertilizers, soil amendments, herbicides, and pesticides.

Owners, residents, and users of property in the Agricultural Protection District, or neighboring property should be prepared to accept such inconveniences or discomfort as they occur from agricultural uses and are hereby notified that this declaration may prevent them from obtaining a legal judgment against such agricultural uses

TOWNSHIP AND NEIGHBORHOOD COMMENTS

Spring Grove Township and the ten nearest property owners were notified. One comment was received and is included in the packet.

SITE CHARACTERISTICS

The proposed location is just under a mile south of Spring Grove and the SW ¼ NE ¼ of Section 23 is an open quarter-quarter with adequate road frontage. The applicants are proposing a driveway along the east property line. A non-farm dwelling cannot be located on prime agricultural soil unless the area has not been used for the production of field crops or enrolled in a government program whereby compensation is received in exchange for the removal of an area from production. The soils here are 492C and 500C2, which are IIIe and IVe respectively, however the site appears to have not been in production for at least ten years.



Figure 2. Aerial imagery from 2014. Rough dwelling location in red. Soil types are shown in brown.

The surrounding property is primarily agricultural in nature. There are farm and non-farm dwellings in most of the adjacent quarter-quarters. The property directly south of this site is zoned highway business and operated as a bed and breakfast and retreat center.



Figure 3. Aerial imagery from 2023. Rough dwelling location in red. Soil types are in brown.

There is no floodplain, wetland, shoreland, or bluff concern. This property is on the ridge and the closest intermittent stream is approximately 628 feet to the west. Slopes at the building site are 8-12% and it meets the buildable lot standard.

EVALUATION

Section 11.05 of the Houston County Zoning Ordinance requires the following:

Subdivision 1. Findings. The Planning Commission shall not recommend a conditional use permit unless they find the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Land Use Plan makes numerous references to preserving prime agricultural land and the fact that non-farm dwellings are only allowed on marginal ground promotes this goal.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The applicants would like to build a place outside of city limits for recreational use.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: The largest pollution potential with single family dwellings is adequate treatment of septage. The applicants identified that they do not intend to initially have running water within the structure, but once that happens then a septic system is required. If that is not done during the initial construction phase it is incumbent on the applicants to address that need when the time comes. In the interim, the applicants need to have an approved method of treatment (i.e. portable toilet) to handle any waste while on site.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: A small dwelling should not adversely increase the quantity of water runoff.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: The Soil Survey – Houston County identifies the main concern for these soil types as structural damage caused by the shrinking and swelling of the soil, but buildings can be constructed provided they use adequate backfill with suitable coarse material around foundations and footings.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: Adequate treatment of septage is likely the biggest potential pollution hazard and a method of treatment meeting minimum state requirements is required. Additionally, careful adherence to the erosion control plan during and after construction will also mitigate any runoff concerns.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: The erosion control plan approved driveway construction and any new utility installations and costs are the responsibility of the applicant. The driveway access must be approved by Spring Grove Township.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: There is sufficient off-street parking to accommodate typical residential use.

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: The surrounding uses are agricultural fields, farm and non-farm dwellings and a bed and breakfast. This dwelling location is on the northern end of the parcel which is setback from developed areas of other properties and should help to keep the existing feel of the vicinity.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The primary uses of the surrounding acreages are agricultural, residential and commercial. This dwelling meets the density standard and most surrounding property has already been developed per the agricultural protection districts density requirements.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: N/A

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: This request meets the required agricultural protection district density limitations.

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: A non-farm dwelling with proper treatment of septage should have no impact on the public's health, safety, morals and general welfare.

RECOMMENDATION

The Planning Commission must consider the criteria above. Should the permit be granted, staff recommend requiring the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.
3. The Permittee shall use an approved method of treatment for the handling of septage that meets minimum state requirements.

Proposed motion: Recommend granting of a Conditional Use Permit for a single-family dwelling on under 40 acres with the three conditions.

From: [Darin Warling](#)
To: [Amelia Meiners](#)
Subject: Conditional Use Permit Comments
Date: Tuesday, May 13, 2025 3:51:24 PM

***** HOUSTON COUNTY SECURITY NOTICE *****

This email originated from an external sender. Exercise caution before clicking on any links or attachments and consider whether you know the sender. For more information please contact HelpDesk.

Dear Houston County Planning Commission,

The following is in reference to the Conditional Use Permit under consideration for James and Suzanna Gulbranson (parcel #13.0292.000) to be addressed at the meeting on May 22, 2025.

My name is Darin Warling. My wife, Joleen Emery, and I own a property adjoining the aforementioned parcel, on the south side of Stratford Drive. It is currently known as Big Raven Farm, but was purchased from the Gulbransons when it was known as the Stratford-Lee Inn. We operate this property as a bed & breakfast and retreat center, much as the Gulbransons did before us.

Thus far we have invested more than \$1.5M into purchasing, renovating, and expanding our business; nearly \$800,000 of this investment has gone directly to the Gulbransons themselves. We attract visitors from all over the country to the area to participate in art, yoga, writing, and other types of weekend retreats. Nearly all of our visitors live more than 2 hours away and spend significant amounts of money at local businesses during their stay.

In the absence of information about the dwelling under consideration, we are concerned about its impact on our investment, whose value is based largely on the promise of a peaceful rural getaway, away from the stresses of the big city, on a property with the beautiful views of fields and hills for which the area is known.

In principle, we are not necessarily opposed to this development, but our support or opposition hinges on the specifics of the project. Factors we would like detailed and addressed include:

1. Where, exactly, on the parcel will the dwelling be sited?
2. Will the dwelling be visible from our property?
3. How many stories and how many square feet and how many outbuildings are planned?
4. Are there any remedies if the dwelling or outbuildings are ultimately sited elsewhere on the parcel?
5. Is this dwelling intended to be owner-occupied year-round, or is it seasonal, or intended to be long- or short-term rental or is it being built as an investment for quick sale of the new house and property?
6. Once this dwelling is built, will it act as a toehold for future development and expansion?
7. How will the dwelling be accessed? Where will the driveway be located?
8. What will be the impact of additional traffic on Stratford Drive? We already contend with a surprising amount of noise and dust from the gravel road due to sawmill traffic, which increased when the Wiste property was developed, and we are concerned about further increases in traffic, noise and dust.
9. How will septic be handled? If the dwelling is situated near the parcel's pond, will this interfere with local water quality? Access to the pond area is likely too steep for a tanker truck, likely precluding a self-contained septic tank. Is the proposed site suitable for a septic system?

10. Where will electrical and communication lines be routed?

As I said above, we are not necessarily opposed to the proposed Conditional Use Permit, but we do have concerns about its potential impact on the investment we've made in this community.

Best regards,
Darin Warling and Joleen Emery
Big Raven Farm
19315 Stratford Drive
Spring Grove, MN 55974

Conditional Use
Request
2025-CUP-405917

Amount Paid
\$746.00

Applicant
Suzanna
Gulbranson

Created
April 15, 2025

Number
2025-CUP-
405917

GULBRANSON,JAMES &
SUZANNA | 130292000 | Spring
Grove
Submitted by SGulbranson on
4/15/2025



Applicant

Suzanna Gulbranson

Srgulbranson@icloud.com

Search Parcel Data

 Completed On Tuesday, April 15, 2025 at 10:11 AM CDT by AmeliaM

ParcelID	Address	City	OwnerName	Acres
130292000			GULBRANSON,JAMES & SUZANNA	37.230

CONDITIONAL USE INTRO

 Completed On Tuesday, April 15, 2025 at 10:11 AM CDT by AmeliaM

A Conditional Use is a land use or development that would not be appropriate generally but may be allowed with appropriate restrictions as provided by official controls upon a finding that specific criteria are met, as outlined in Section 6.5 of the ordinance.

When submitting an application, the information requested in this form is required. You may be asked to provide additional information as deemed necessary by the Zoning Office, the Planning Commission, or the County Board.

A non-refundable application fee and recording fee are required before an application is considered complete.

Prior to completing this form, a pre-application meeting with County Zoning is strongly recommended.

Application Fee:

Conditional Use Application Fee

\$700.00

Recording Fee:

Recording Fee

\$46.00

Application Type:

Conditional Use

APPLICANT INFORMATION

 Completed On Tuesday, April 15, 2025 at 10:36 AM CDT by michelleburt13

Applicant Name

GULBRANSON,JAMES & SUZANNA

Parcel Tax ID

130292000

Telephone Number

5075001321

Address

106 SW Alley St

City

Spring Grove

Zip

55974

Legal Description

SW1/4 NE1/4 EX 2.77A B 355 P 469

1

Section-Township-Range

23-101-007

Do you own additional adjacent parcels

Yes

Township of:

Spring Grove

Applicants are required to inform township boards of their application. Please reference the table below and contact the official for your township.

I understand I am required to inform my township of my application.

Yes

Township Contacts

TOWNSHIP	NAME	PHONE
Black Hammer	Clayton Johnson	507-450-6384
Brownsville	Christine Novak	507-459-0636
Caledonia	Judith Massman	507-458-3294
Crooked Creek	David Winnes	507-542-4515
Hokah	Delayne Vogel	608-397-6516
Houston	John Beckman	507-429-1745
Jefferson	Anne Falken	320-493-8629
La Crescent	Jason Wieser	507-429-0133
Mayville	Erin Hammell	608-225-1830
Money Creek	Paul Ledebuhr	507-458-7973
Mound Prairie	Colleen Tracy	507-459-3573
Sheldon	Wayne Runningen	507-450-0065
Spring Grove	Mike Wiste	507-450-4638
Union	Craig Frederick	608-769-9541

Wilmington Melissa Schroeder 608-780-3998
Winnebago Luke King 507-725-8816
Winnebago Joyce Staggemeyer 507-542-4637
Yucatan Deb Dewey 507-896-3566

SUBMITTED BY APPLICANT

11

CONDITIONAL USE REQUEST Completed On Tuesday, April 15, 2025 at 10:46 AM CDT by michelleburt13

[Click here to view the Houston County Zoning Ordinance](#)

Describe in detail your request.

Wanting to place a dwelling in the agricultural protection district with the dimension 25ft x 26ft and 13ft in height. A well and septic system will also be placed for the dwelling.

Along with this creating a driveway access to the proposed dwelling.

Citation of Ordinance Section from which the Conditional Use is requested:

Section14.3, Subdivision 1, Subsection 10

Requested Dimension:

25ft x 26ft OR 650 sq. ft

Please upload any supporting documents:

CONDITIONAL USE FINDING OF FACTS Completed On Tuesday, April 15, 2025 at 11:13 AM CDT by michelleburt13

[Click here to view the Houston County Zoning Ordinance](#)

Findings Required:

The Planning Commission shall not recommend a Conditional Use Permit unless they find that the requirements below are satisfied. As the applicant, it is your responsibility to demonstrate that your proposal satisfies these requirements. For each of the 15 criteria, please select the appropriate response and provide a detailed explanation.

1. That the proposed use conforms to the County Land Use Plan.

Yes

Comments:

Wanting to place the dwelling in the wooded area to avoid disturbing any crop land.

2. That the applicant demonstrates a need for the proposed use.

Yes

Comments:

Want to have a location away from town as a vacation spot with a place to stay.

3. That the proposed use will not degrade the water quality of the County.

Yes

Comments:

With having this dwelling in the agriculture protection district, we would ensure that we keep up with regular septic and well inspections to prevent any contamination of water quality.

4. That the proposed use will not adversely increase the quantity of water runoff.

Yes

Comments:

With the general location for the proposed dwelling, there should not be much water runoff as is.

5. That soil conditions are adequate to accommodate the proposed use.

Yes

Comments:

Soil conditions are adequate enough to accommodate this dwelling.

6. That potential pollution hazards have been addressed and standards have been met.

Yes

Comments:

The dwelling will not be used for farming or have any need of items that may be considered a pollution hazard.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Yes

Comments:

We intend to have utilities for this dwelling, as well as a small access road.

We plan on reaching out to electricians to find out the best way that electricity could be provided to the dwelling.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Yes

Comments:

The dwelling will be located on the far side of the land, so there will not need to be any off-street parking. The access road should also allow trucks/machinery to reach where the dwelling will be located.

9. That adequate facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Yes

Comments:

There will not be any parking on the township road and the driveway access will prevent any traffic congestion. The township road is also a dead-end road.

10. That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Yes

Comments:

There is enough space to prevent any damage to other properties around the property where the dwelling would be located.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Yes

Comments:

The location of the proposed dwelling will be in an area that there should not be any disruption to the development of neighboring properties.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Yes

Comments:

There should be no issue with odor, fumes, dust, noise, lights, etc. that will cause any disturbance to neighboring properties.

13. That the density of any proposed residential development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district

Yes

Comments:

The proposed dwelling will be 650 square feet and used for vacationing.

14. That the density of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district.

N/A

Comments:

N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Yes

Comments:

The proposed dwelling and location will not cause any dangers to any of the above due to it being located on the far side of a property off of a dead-end township road. The proposed use of the dwelling will not cause any harm when it comes to general welfare due to the dwelling being meant as a vacation spot for the owners.

SITE PLAN INFORMATION Completed On Tuesday, April 15, 2025 at 11:23 AM CDT by michelleburt13

A site plan MUST accompany all Applications. You may either upload a drawing or use the interactive map below.

Upload Site Plan

Use the Interactive Map to Create a Site Plan. Map tools: Click the plus and minus buttons in the upper left of the map window, to zoom in/out. Navigation Mode - Scroll up to zoom in, scroll down to zoom out. Click and hold to pan around map. Text Mode - To place text on the map, click on the "Add Text" tool, click the place on the map where you would like the text to be displayed, then enter the text in the box that appears at the top of the screen, click ok to display the text on the map. Draw a point - Click once on the map where you would like the point to be. Draw a Line - Click once on map to start drawing a line, double click to stop drawing line. Draw a Polyline - Click once on map to start drawing a polygon, click map at each vertex and double click to finish polygon drawing. Draw a Rectangle - Click once on the map where you would like the rectangle to be. The rectangle will appear on the map. Click on the Select tool and click on the rectangle to resize (click an outside square and drag to resize), rotate (click, hold and drag the circle on top of the rectangle to rotate) or delete (click the rectangle and hit the delete button). Measure - Click once on map to start draw a line with a measurement, click map at each vertex and double click to finish drawing. If you double click near starting point area measurement will also be calculated. Undo Last Edit - Click tool to undo last drawing edit. Undo All Edits - Click tool to undo all drawing edits.

☒ Sketch Layer☐ Reference Layer☒ Mapproxy

Powered by Esri

Use the space below to include site plan comments, if necessary

The dwelling will be 25ft x 26ft and 13ft in height making it 650 square ft.

A well and septic system will be installed as well. The located for these has not yet been decided.

APPLICATION SUBMITTAL Completed On Tuesday, April 15, 2025 at 11:30 AM CDT by michelleburt13

By checking this box, I grant Houston County access to my property for the purpose of evaluating this application.

Yes

By checking this box, I certified that I have notified my town board of my application.

Yes

By checking this box, I certify that the information provided in this application is true and accurate to the best of my knowledge.

Yes

Signature

Suzanna Gulbranson

Date Signed:

4/15/2025

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE:

That an application has been made by Luke Schuttenhelm and Miranda Johnston, 1425 Redfield Street, La Crosse, WI 54601, for a Conditional Use Permit to build a dwelling in the agricultural protection district (Section 14 – 14.3 Conditional Uses, Subdivision 1, Subsection 10) in Money Creek Township on the following premises, to-wit:

PT SW1/4 NW1/4, Section 17, Township 104, Range 6, Houston County, Minnesota. (Parcel #10.0335.001)

Said applicants standing and making application are as fee owner of said described lands.

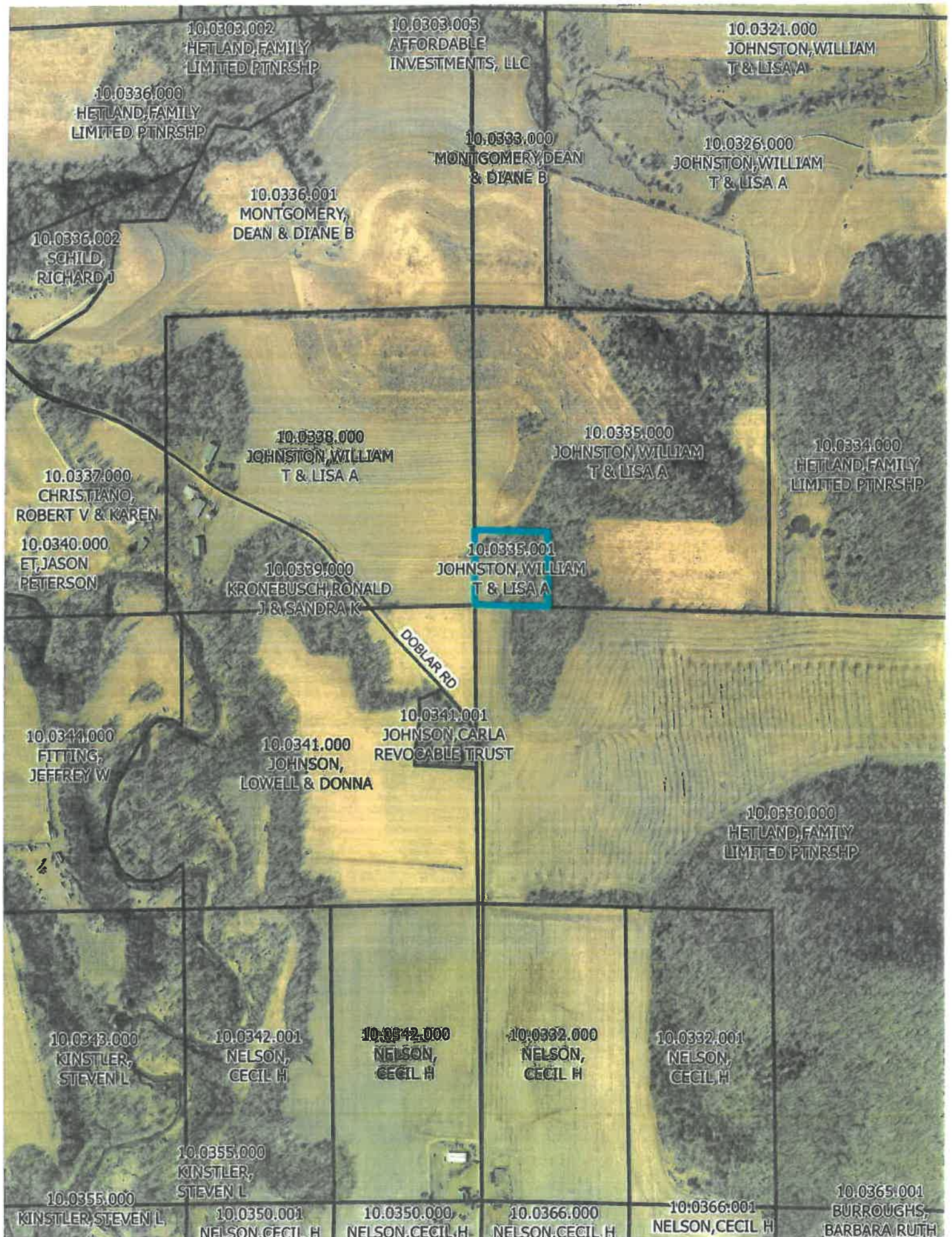
A hearing on this application will be held at the Houston County Commissioner's Room, City of Caledonia, Minnesota at 6:00 p.m. on Thursday, May 22, 2025.

All persons having an interest in the matter may attend the hearing or submit comments relative to the granting or denying of said application. Comments should be mailed to the Environmental Services Dept., 304 South Marshall Street – Room 209, Caledonia, MN 55921, or emailed to amelia.meiners@co.houston.mn.us, and must be received by Tuesday, May 13, 2025 to be included for review prior to the hearing. All comments are considered public record.

HOUSTON COUNTY PLANNING COMMISSION

By Amelia Meiners
Zoning Administration

ADV: May 7, 2025





HOUSTON COUNTY ENVIRONMENTAL SERVICES

Solid Waste • Recycling • Zoning
304 South Marshall Street – Room 209, Caledonia, MN 55921
Phone: (507) 725-5800 • Fax: (507) 725-5590



STAFF REPORT 5/14/2025

Application Date: 4/16/2025
Hearing Date: 5/22/2025
Petitioner: Luke & Miranda Schuttenhelm
Reviewer: Amelia Meiners
Zoning: Ag Protection
Address: TBD Doblar Rd
Township: Money Creek
Parcel Number: 10.0335.001
Submitted Materials: CUP Application

OVERVIEW

REQUEST

The applicant is seeking a conditional use permit to build a dwelling on less than 40 acres in the agricultural protection district.

SUMMARY OF NOTEWORTHY TOPICS

This is a ten-acre parcel off Doblar Road in Money Creek Township. The applicants are looking to construct a single-family dwelling on this parcel and have easement access to Doblar Road through the adjacent acreage belonging to William and Lisa Johnston. This parcel is within an open quarter-quarter and while the proposed location appears to be CRP or cropped, it is an area classified as marginal soils which meets the requirement for non-farm dwellings.

The Houston County Zoning Ordinance (HCZO) 14.3 subd.1 (10) requires the following:

(10) Dwellings. Single-family non-farm dwellings subject to the following:

- (a) No more than one (1) dwelling per quarter-quarter section.*
- (b) Non-farm dwellings built after the adoption of this Ordinance shall be setback at least one-fourth, (1/4), mile from all feedlots, except as otherwise provided in this Ordinance.*
- (c) Non-farm dwelling units shall not be permitted on land which is of soil classifications of Class I-III soils rated in the Soil Survey - Houston County by the U. S. D. A. Natural Resource Conservation Service, except in cases where the land has not been used for the production of field crops or enrolled in a government program whereby compensation is received in exchange for the removal of an area from production, for a period of ten years or more.*
- (d) Non-farm dwelling units shall only be permitted on sites considered Buildable Lots as defined by this Ordinance, and shall not be permitted in areas classified wetlands, flood plain, peat and muck*

areas and other areas of poor drainage. Non-farm dwelling units shall not be permitted on land which has a slope of twenty-four (24) percent or greater. All non-farm dwellings must have an erosion control plan as required by Section 24.

(e) Non-farm dwelling units shall be required to be located on lots having ownership of at least thirty-three (33) feet of road frontage on a public roadway or a legally recorded perpetual access at least thirty-three (33) feet wide from an existing public roadway and a minimum lot area of one (1) acre.

Further, the applicant should know the purpose of the agricultural protection district is to retain land for agricultural production and these regulations are intended to minimize incompatibility between these residential and ag uses.

SECTION 14 - AGRICULTURAL PROTECTION DISTRICT

14.1 PURPOSE AND PUBLIC NOTICE

Subdivision 1. Purpose. *The purpose of the Agricultural Protection District is to provide a district that will:*

- (1) Retain, conserve, and enhance agricultural land in the County for agricultural uses.*
- (2) Protect and preserve natural resources and environmentally sensitive areas.*
- (3) Restrict scattered non-farm residential development in order to minimize incompatibility between agricultural uses and residential use, and to conserve the expenditure of public funds for new roads, road maintenance, schools, police and fire protection necessary to service scattered residential development.*

Subdivision 2. Public Notice. *Persons choosing to reside in the Agricultural Protection District are hereby notified that the agricultural district is a zoning district in which land is used principally and foremost for agricultural production.*

Subdivision 3. Discomfort Resulting From Agricultural Uses. *Owners, residents, and other uses of property in the Agricultural Protection District or neighboring properties may be subjected to inconvenience or discomfort arising from normal and accepted agricultural practices and operation, including but not limited to the following:*

- (1) Noise, odors, dust, and hours of operation.*
- (2) The operation of machinery, including aircraft.*
- (3) The production, storage and land application of animal manure.*
- (4) The application of fertilizers, soil amendments, herbicides, and pesticides.*

Owners, residents, and users of property in the Agricultural Protection District, or neighboring property should be prepared to accept such inconveniences or discomfort as they occur from agricultural uses and are hereby notified that this declaration may prevent them from obtaining a legal judgment against such agricultural uses.

TOWNSHIP AND NEIGHBORHOOD COMMENTS

Money Creek Township and the ten nearest property owners were notified. No comments were received.

SITE CHARACTERISTICS

The SW ¼ NW ¼ of Section 17 is an open quarter-quarter and a driveway easement exists that meets requirements. A non-farm dwelling cannot be located on prime agricultural soil, but the soils here are 599E2, which is VIe and not considered prime. There is no floodplain, wetland, shoreland, or bluff concern. The closest stream is Money Creek, approximately 1,400 feet to the southwest and the closest intermittent stream is approximately 900 feet to the south. Slopes at the building site are 10-16% and it meets the buildable lot standard. The surrounding property is still owned by Miranda's parents, William and Lisa Johnston.



Figure 1. Proposed dwelling location.



Figure 2. Photo from Doblar Road looking at the proposed building site (house elevation shown in blue).

EVALUATION

Section 11.05 of the Houston County Zoning Ordinance requires the following:

Subdivision 1. Findings. The Planning Commission shall not recommend a conditional use permit unless they find the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Land Use Plan makes numerous references to preserving prime agricultural land and the fact that non-farm dwellings are only allowed on marginal ground promotes this goal.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The applicants are looking to construct a dwelling on the family farm.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: The largest pollution potential with single family dwellings is adequate treatment of septage, but a septic system will be permitted and installed according to code. A septic designer has been on site and located two type I locations.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: The applicant will need to meet all requirements of their erosion control plan to address any runoff concerns before, during and after construction, but the addition of a single-family dwelling should not adversely increase the quantity of water runoff.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: The Soil Survey – Houston County identifies slope as the main limitation for building sites on 599E2 soils due to it requiring extensive land shaping and recommends that the building be designed to conform to the natural slope of the land.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: Adequate treatment of septage is likely the biggest potential pollution hazard, but a septic designer has determined that a system meeting state standards can be installed.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: This is a new building site so new utility installations are necessary and all costs are the responsibility of the applicant. Access roads and drainage modifications will need to meet erosion control plan requirements.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: There is sufficient off-street parking to accommodate typical residential use.

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: The primary use of the surrounding acreage is agricultural and the addition of a single-family dwelling will not impact that use.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The surrounding predominant use is agricultural fields. This dwelling meets the density standard and will not impact surrounding agriculture. Orderly development meeting standards can still take place.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: N/A

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: This request meets the required agricultural protection district density limitations.

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: A non-farm dwelling should not negatively affect the public's health, safety, morals and general welfare if constructed according to the approved erosion control plan and septic design requirements.

RECOMMENDATION

The Planning Commission must consider the criteria above. Should the permit be granted, staff recommend requiring the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.

Proposed motion: Recommend granting of a Conditional Use Permit for a single-family dwelling on under 40 acres with the two conditions.

Conditional Use Request
2025-CUP-405804
Applicant
Luke Schuttenhelm

Amount Paid
\$746.00
Created
April 15, 2025

Number
2025-CUP-405804

JOHNSTON,WILLIAM T & LISA
A | 100335000 | Money Creek
Submitted by
Luke.schuttenhelm on
4/15/2025



Applicant

Luke Schuttenhelm

(608) 769-7745

Schuttzy17@gmail.com

Search Parcel Data Completed On Tuesday, April 15, 2025 at 8:52 AM CDT by Luke.schuttenhelm

ParcelID	Address	City	OwnerName	Acres
100335000			JOHNSTON,WILLIAM T & LISA A	40.000

CONDITIONAL USE INTRO Completed On Tuesday, April 15, 2025 at 8:54 AM CDT by Luke.schuttenhelm

A Conditional Use is a land use or development that would not be appropriate generally but may be allowed with appropriate restrictions as provided by official controls upon a finding that specific criteria are met, as outlined in Section 6.5 of the ordinance.

When submitting an application, the information requested in this form is required. You may be asked to provide additional information as deemed necessary by the Zoning Office, the Planning Commission, or the County Board.

A non-refundable application fee and recording fee are required before an application is considered complete.

Prior to completing this form, a pre-application meeting with County Zoning is strongly recommended.

Application Fee:

Conditional Use Application Fee
\$700.00

Recording Fee:

Recording Fee
\$46.00

Application Type:
Conditional Use

APPLICANT INFORMATION Completed On Tuesday, April 15, 2025 at 8:57 AM CDT by Luke.schuttenhelm

Applicant Name
JOHNSTON,WILLIAM T & LISA A

Parcel Tax ID
100335000

Telephone Number

(608) 769-7745

Address

1425 Redfield Street

City

La Crosse

Zip

54601

Legal Description

SW1/4 NW1/4 DOC #197135

1

Section-Township-Range

17-104-006

Do you own additional adjacent parcels

No

Township of:

Money Creek

Applicants are required to inform township boards of their application. Please reference the table below and contact the official for your township.

I understand I am required to inform my township of my application.

Yes

Township Contacts

TOWNSHIP	NAME	PHONE
Black Hammer	Clayton Johnson	507-450-6384
Brownsville	Christine Novak	507-459-0636
Caledonia	Judith Massman	507-458-3294
Crooked Creek	David Winnes	507-542-4515
Hokah	Delayne Vogel	608-397-6516
Houston	John Beckman	507-429-1745
Jefferson	Anne Falken	320-493-8629
La Crescent	Jason Wieser	507-429-0133
Mayville	Erin Hammell	608-225-1830
Money Creek	Paul Ledebuhr	507-458-7973
Mound Prairie	Colleen Tracy	507-459-3573
Sheldon	Wayne Runningen	507-450-0065

Spring Grove	Mike Wiste	507-450-4638
Union	Craig Frederick	608-769-9541
Wilmington	Melissa Schroeder	608-780-3998
Winnebago	Luke King	507-725-8816
Winnebago	Joyce Staggemeyer	507-542-4637
Yucatan	Deb Dewey	507-896-3566

SUBMITTED BY APPLICANT

8

CONDITIONAL USE REQUEST Completed On Tuesday, April 15, 2025 at 9:01 AM CDT by Luke.schuttenhelm

[Click here to view the Houston County Zoning Ordinance](#)

Describe in detail your request.

New build of a single- family dwelling.

Citation of Ordinance Section from which the Conditional Use is requested:

14.3 Subd.1 (10)

Requested Dimension:

Please upload any supporting documents:

[Schuttenhelm 4-3-25.pdf](#)

CONDITIONAL USE FINDING OF FACTS Completed On Tuesday, April 15, 2025 at 9:09 AM CDT by Luke.schuttenhelm

[Click here to view the Houston County Zoning Ordinance](#)

Findings Required:

The Planning Commission shall not recommend a Conditional Use Permit unless they find that the requirements below are satisfied. As the applicant, it is your responsibility to demonstrate that your proposal satisfies these requirements. For each of the 15 criteria, please select the appropriate response and provide a detailed explanation.

1. That the proposed use conforms to the County Land Use Plan.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

2. That the applicant demonstrates a need for the proposed use.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

3. That the proposed use will not degrade the water quality of the County.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

4. That the proposed use will not adversely increase the quantity of water runoff.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

5. That soil conditions are adequate to accommodate the proposed use.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

6. That potential pollution hazards have been addressed and standards have been met.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

9. That adequate facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

10. That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

13. That the density of any proposed residential development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

14. That the density of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Yes

Comments:

We are in accordance with the guidelines and policies of the county.

SITE PLAN INFORMATION Completed On Tuesday, April 15, 2025 at 9:11 AM CDT by Luke.schuttenhelm

A site plan **MUST** accompany all Applications. You may either upload a drawing or use the interactive map below.

Upload Site Plan

[Schuttenhelm 4-3-25.pdf](#)

SUBMITTED BY APPLICANT

Use the Interactive Map to Create a Site Plan. Map tools: Click the plus and minus buttons in the upper left of the map window, to zoom in/out. **12** Navigation Mode - Scroll up to zoom in, scroll down to zoom out. Click and hold to pan around map. Text Mode - To place text on the map, click on the "Add Text" tool, click the place on the map where you would like the text to be displayed, then enter the text in the box that appears at the top of the screen, click ok to display the text on the map. Draw a point - Click once on the map where you would like the point to be. Draw a Line - Click once on map to start drawing a line, double click to stop drawing line. Draw a Polyline - Click once on map to start drawing a polygon, click map at each vertex and double click to finish polygon drawing. Draw a Rectangle - Click once on the map where you would like the rectangle to be. The rectangle will appear on the map. Click on the Select tool and click on the rectangle to resize (click an outside square and drag to resize), rotate (click, hold and drag the circle on top of the rectangle to rotate) or delete (click the rectangle and hit the delete button). Measure - Click once on map to start draw a line with a measurement, click map at each vertex and double click to finish drawing. If you double click near starting point area measurement will also be calculated. Undo Last Edit - Click tool to undo last drawing edit. Undo All Edits - Click tool to undo all drawing edits.

☐ Sketch Layer

☐ Reference Layer

☒ Mapproxy



Powered by Esri

Use the space below to include site plan comments, if necessary

APPLICATION SUBMITTAL Completed On Tuesday, April 15, 2025 at 9:13 AM CDT by Luke.schuttenhelm

By checking this box, I grant Houston County access to my property for the purpose of evaluating this application.

Yes

By checking this box, I certify that I have notified my town board of my application.

Yes

By checking this box, I certify that the information provided in this application is true and accurate to the best of my knowledge.

Yes

Signature



Date Signed:

4/15/2025

Check this box if Staff Signature on behalf of Applicant.

Yes

Email APPLICATION SUBMITTAL Completed On Tuesday, April 15, 2025 at 9:13 AM CDT by Luke.schuttenhelm

RESEND EMAIL

Delivered on Tuesday, April 15, 2025 at 9:13 AM CDT

Options

Send to the applicant? Yes

Send to members of the following roles:

Zoning

County Board

Recipients

To:

jeremy.burt@co.houston.mn.us
michelle.burt@co.houston.mn.us
holly.felten@co.houston.mn.us
amelia.meiners@co.houston.mn.us
cindy.wright@co.houston.mn.us
eric.johnson@co.houston.mn.us
robert.schuldt@co.houston.mn.us
kurt.zehnder@co.houston.mn.us
schutty17@gmail.com

Subject: Parcel 100335000 Conditional Use Application Received

The information provided in your Conditional Use application has been received by the County. An application fee of \$700.00 payable to the Houston County Treasurer and a recording fee of \$46.00 payable to the Houston County Recorder are necessary to complete your application and are required before the application will be reviewed. Please send a separate check for each.

Houston County Planning and Zoning
304 S. Marshall Street, Room 209
Caledonia, MN 55921

Once payment is received your application will be reviewed and you will be contacted by staff if there are questions.

Please call 507-725-5800 or email amelia.meiners@co.houston.mn.us with any questions or concerns.

Number: 2025-CUP-405804

Workflow: Conditional Use Request

Description: JOHNSTON, WILLIAM T & LISA A | 100335000 | Money Creek

REVISED PRELIMINARY PLAN

4-3-2025

SCHUTTENHELM RESIDENCE
LUKE AND MIRANDA SCHUTTENHELM
MONEY CREEK, MN 55943
CLIFFSIDE CONSTRUCTION
BROWNSVILLE, MN 55919

BLAX24-26
A-1
A-2
A-3
A-4
A-5
A-6
A-7

V BADGER
1501 WEST HURON AVENUE
SUITE 200
BROWNSVILLE, MN 55919
PHONE: (507) 845-1010
FAX: (507) 845-1011
WWW.VBADGER.COM

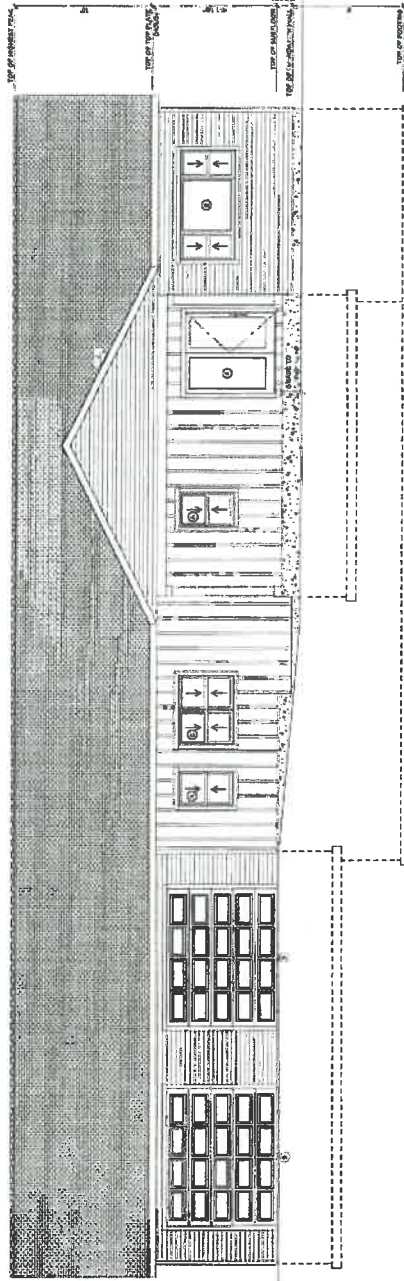
1. The owner of this plan is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The owner is also responsible for ensuring that the plan complies with all applicable codes and regulations. The owner is further responsible for ensuring that the plan is accurate and complete. The owner is also responsible for ensuring that the plan is submitted to the appropriate authorities in a timely manner. The owner is also responsible for ensuring that the plan is submitted to the appropriate authorities in a timely manner. The owner is also responsible for ensuring that the plan is submitted to the appropriate authorities in a timely manner.

CLIFFSIDE CONSTRUCTION
BROWNSVILLE, MN 55919

SCHUTTENHELM RESIDENCE
LUKE AND MIRANDA SCHUTTENHELM
MONEY CREEK, MN 55943

DATE: 4-3-2025
SCALE: 1/4" = 1'-0"
BLAX24-26
TITLE PAGE

A-1

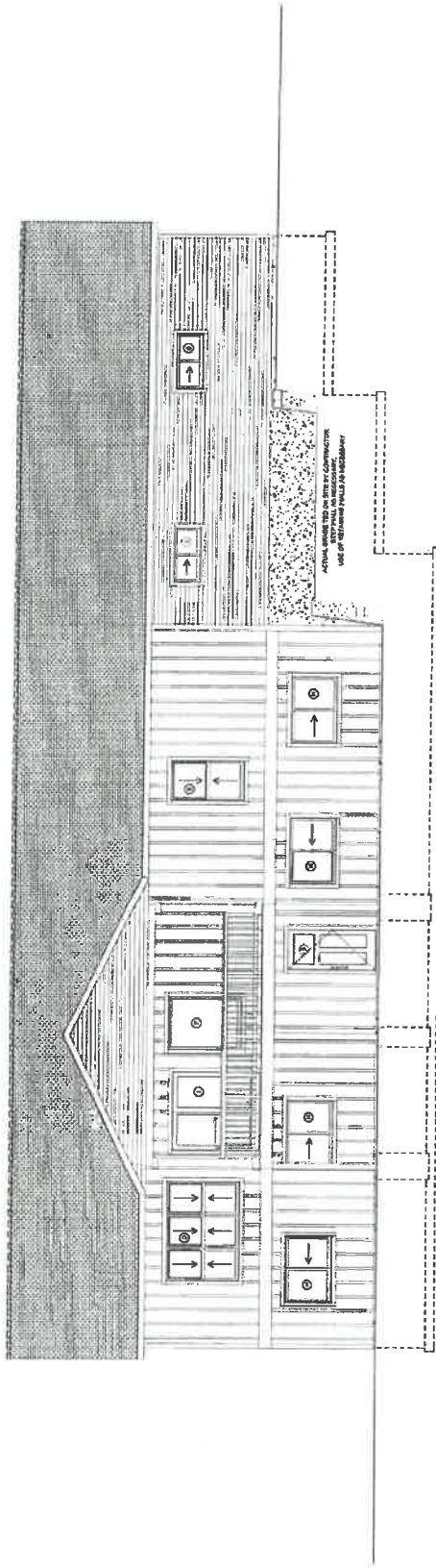


FRONT ELEVATION
1/4" = 1'-0"

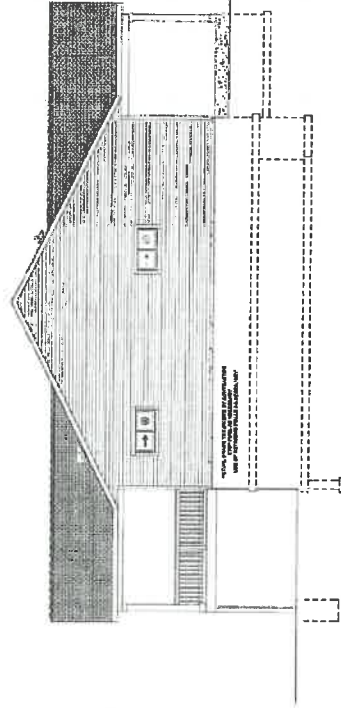
*** NOTE: FINAL DESIGN AND MATERIALS MAY DIFFER FROM WHAT IS SHOWN HERE ***

REVISED PRELIMINARY PLAN

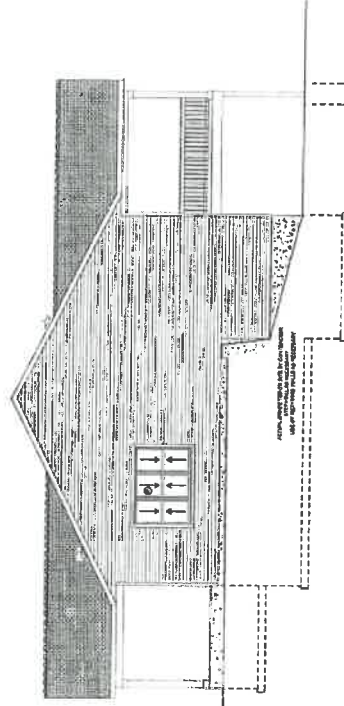
4-3-2025



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
3/16" = 1'-0"



RIGHT ELEVATION
3/16" = 1'-0"

*** NOTE: FINAL DESIGN AND MATERIALS MAY DIFFER FROM WHAT IS SHOWN HERE ***

VBADGER
LAURENCE, MISSOURI 64501
PHONE: (417) 884-1100
WWW.VBADGER.COM

LAURENCE, MISSOURI 64501
PHONE: (417) 884-1100
WWW.VBADGER.COM

CLIFFSIDE CONST
BROWNFIELD, MN 55910

SCHUTTENHELM RESIDENCE
LUKE AND MIRIAM SCHUTTENHELM
MONEY CREEK, MN 55448

DATE	REVISION	DESCRIPTION

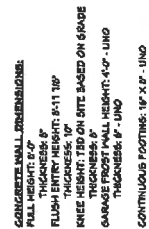
DATE: 4-3-2025

SCALE: 3/16" = 1'-0"

BLANCH-26

ELEVATIONS

A-2



FOUNDATION PLAN
1/4" = 1'-0"

NOTE: INTERIOR DIMENSIONS FOR CONCRETE WALLS ARE TO THE NEAR FACE OF CONCRETE.
EXTERIOR DIMENSIONS FOR CONCRETE WALLS ARE TO THE OUTSIDE FACE OF CONCRETE.
ALL DIMENSIONS FOR CONCRETE FOOTINGS ARE TO THE NEAR FACE OF CONCRETE.

REVISIONS BY DATE

REVISED PRELIMINARY PLAN

4-9-2025



101 WEST AVENUE SOUTH
PO BOX 1000
CLIFFSIDE, NJ 07015

101 WEST AVENUE SOUTH
CLIFFSIDE, NJ 07015

CLIFFSIDE CONST
BROWNSVILLE, NJ 08814

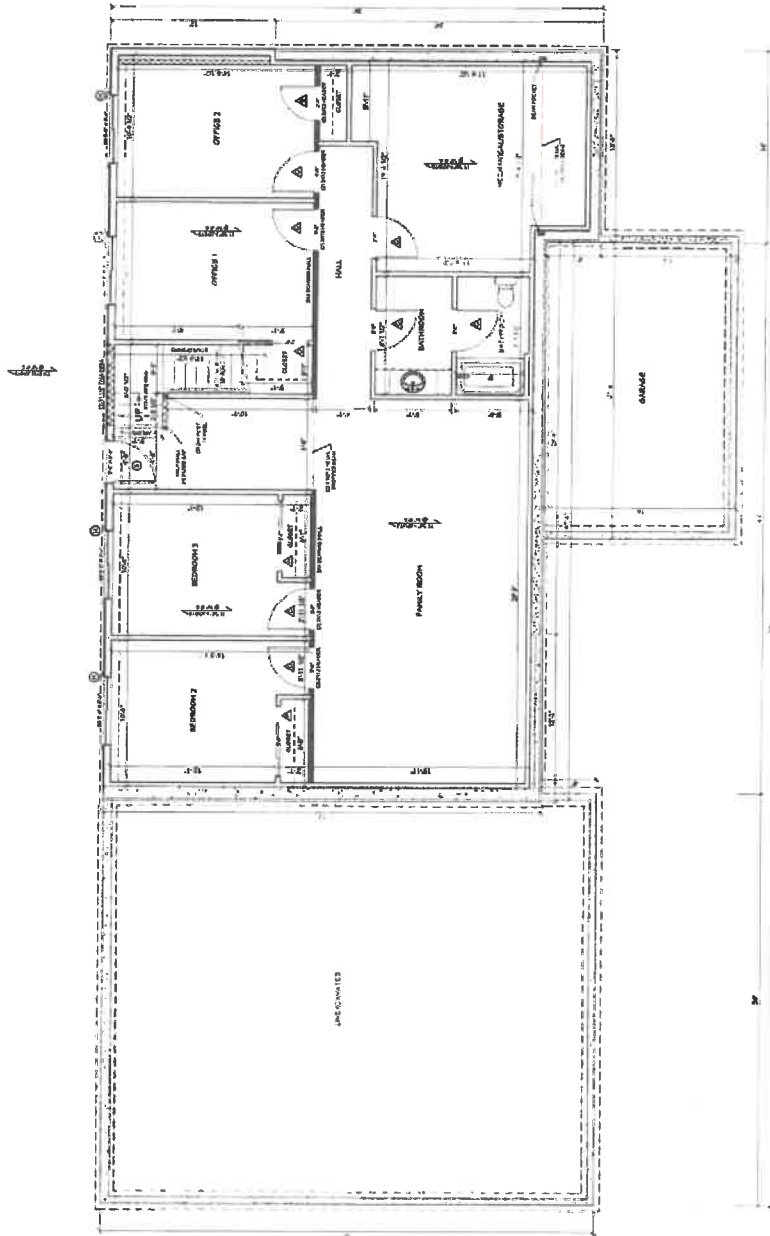
SCHUTTENHELM RESIDENCE
LIVE AND MARYDA SCHUTTENHELM
HONEY CREEK, NJ 08845

DATE:
4-9-2025

SCALE:
1/4" = 1'-0"

BLANK-26
BASINENT

A-4



BASEMENT FLOOR PLAN	
1/4" = 1'-0"	
FINISHED AREA:	UNFINISHED AREA:
1,464	336
sq ft	sq ft

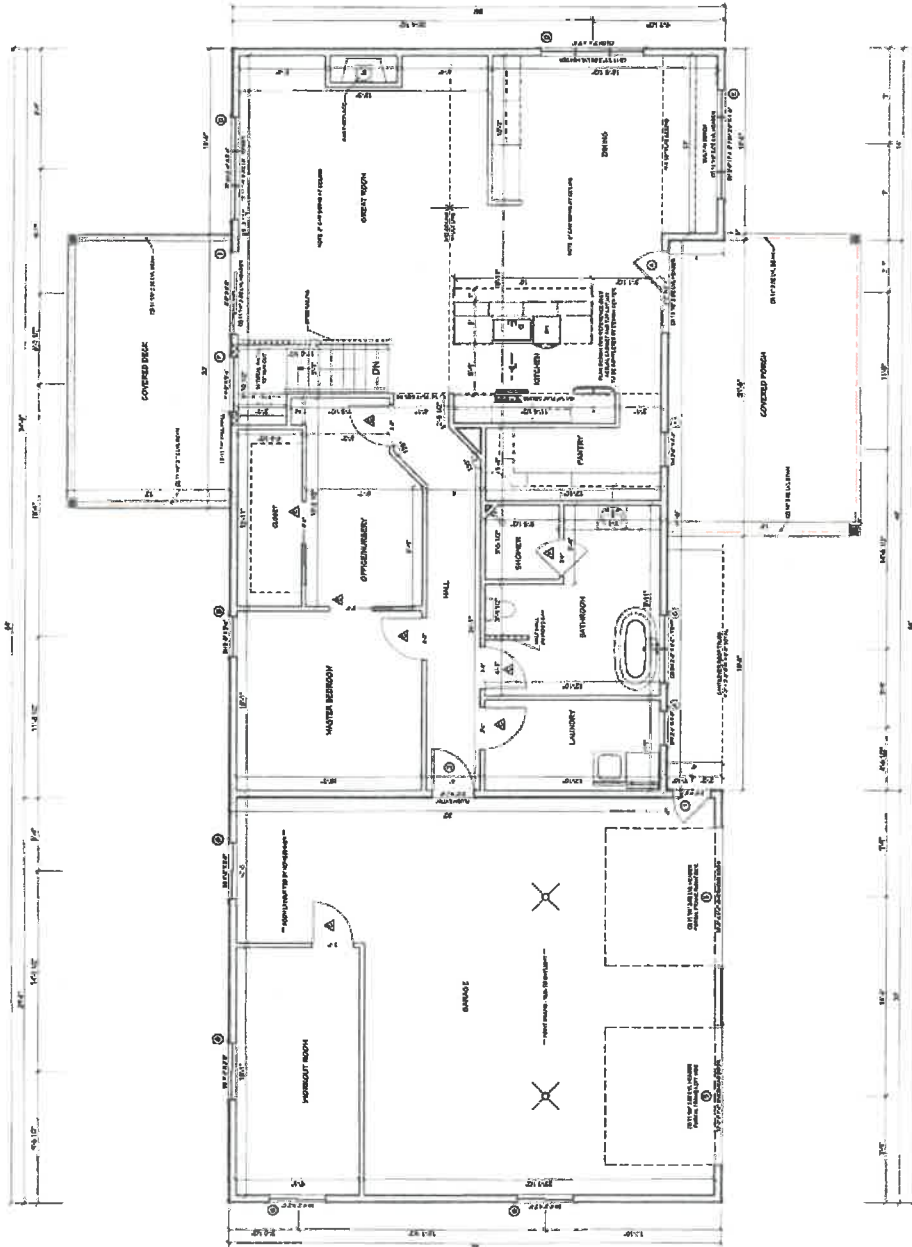
WOOD WALL DIMENSIONS:
FULL HEIGHT: 7'-4 1/2"
KNEE HEIGHT: TYPED ON SITE BASED ON GRADE
EXTERIOR WALLS (STUD AND OSB)
INTERIOR WALLS (STUD ONLY)
2X4 - 9 1/2"
ALL JOISTS TO BE 2X12S
BOTTOM OF FINISHES TO BE AT #4"

CONCRETE WALL DIMENSIONS:
FULL HEIGHT: 8'-0"
THICKNESS: 8"
FLUSH INTERIOR FINISHES
THICKNESS: 10"
KNEE HEIGHT: TYPED ON SITE BASED ON GRADE
GARAGE POST WALL HEIGHT: 4'-0" - UNO
THICKNESS: 8" - UNO
CONTINUOUS FOOTING: 18" X 8" - UNO

NOTE: INTERIOR DIMENSIONS FOR WOOD WALLS ARE TO THE NEAR FACE TO STUD.
EXTERIOR DIMENSIONS FOR WOOD WALLS ARE TO THE OUTSIDE FACE OF OSB SHEATHING.
INTERIOR DIMENSIONS FOR CONCRETE WALLS ARE TO THE INSIDE FACE OF CONCRETE.
EXTERIOR DIMENSIONS FOR CONCRETE WALLS ARE TO THE OUTSIDE FACE OF CONCRETE.

REVISED PRELIMINARY PLAN

4-3-2025



WALL DIMENSIONS:
HOUSE HEIGHT: 8'11 1/2"
CEILING HEIGHT: 8'0"
EXTERIOR WALLS (STUD AND OSB)
2x6 @ 8"
INTERIOR WALLS (STUD ONLY)
2x4 @ 16"
2x6 @ 12"

ALL HEADERS TO BE (3) 2X12 - UNID
BOTTOM OF PERIMETER TO BE AT T.O.

NOTE: INTERIOR DIMENSIONS FOR WOOD WALLS ARE TO THE NEAR FACE TO STUD.
EXTERIOR DIMENSIONS FOR WOOD WALLS ARE TO THE OUTSIDE OF OSB SHEATHING.

MAIN FLOOR PLAN
1/4" = 1'-0"

FINISHED AREA:	GARAGE AREA:
1,800 sq ft	1,064 sq ft

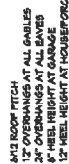
V BADGER
VICTOR BADGER ARCHITECTS
1001 PINE AVE. SUITE 100
LA CROSSE, WISCONSIN 54601
PH: 608.785.1234
WWW.VBADGER.COM

CLIFFSIDE CONST
BROWNVILLE, MN 55914

SCHUTTENHELM RESIDENCE
LUKE AND MINNIE SCHUTTENHELM
HONEY CREEK, MN 55943

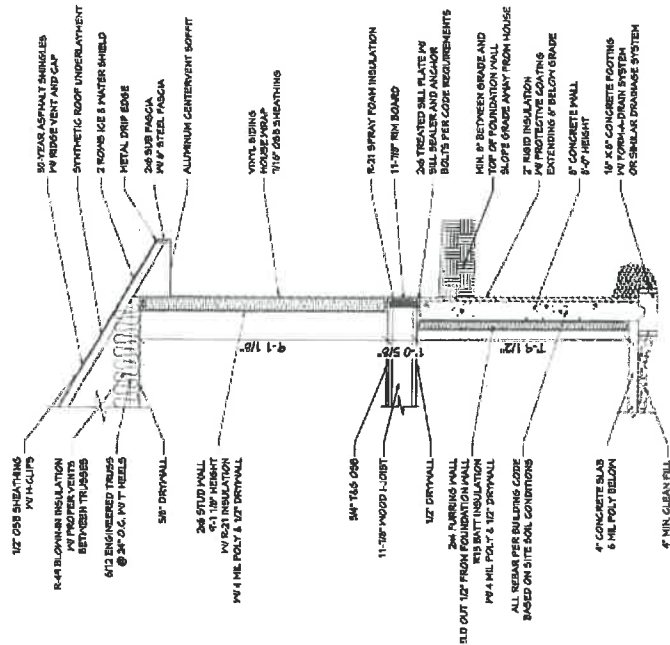
DATE:
4-3-2025
SCALE:
1/4" = 1'-0"
BLANCHARD-26
MAIN FLOOR

A-5



ROOF PROFILE
3/16" = 1'-0"

NOTE: CHECK WITH HOMEOWNER TO VERIFY WINDOW AND DOOR STYLES AND SIZES.
ROUGH OPENINGS ARE BASED ON THE STYLES AND SIZES OF THE PRODUCTS AS LISTED IN THESE PLANS.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ROUGH OPENINGS WITH MANUFACTURER SPECIFICATIONS
ANY VARIATION IS THE RESPONSIBILITY OF THE CONTRACTOR AND HOMEOWNER TO ENSURE THAT THE CORRECT OPENING SIZES ARE USED.



COMMON WALL SECTION
1/2" = 1'-0"

[illegible]

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE:

That an application has been made by Brooke Johnston, 17175 County 26, Houston, MN 55943 for a Conditional Use Permit to build a dwelling in the agricultural protection district (Section 14 – 14.3 Conditional Uses, Subdivision 1, Subsection 10) in Money Creek Township on the following premises, to-wit:

PT N1/2 N1/2 SE1/4 SW1/4, Section 8, Township 104, Range 6, Houston County, Minnesota.
(Parcel #10.0321.003)

Said applicants standing and making application are as fee owner of said described lands.

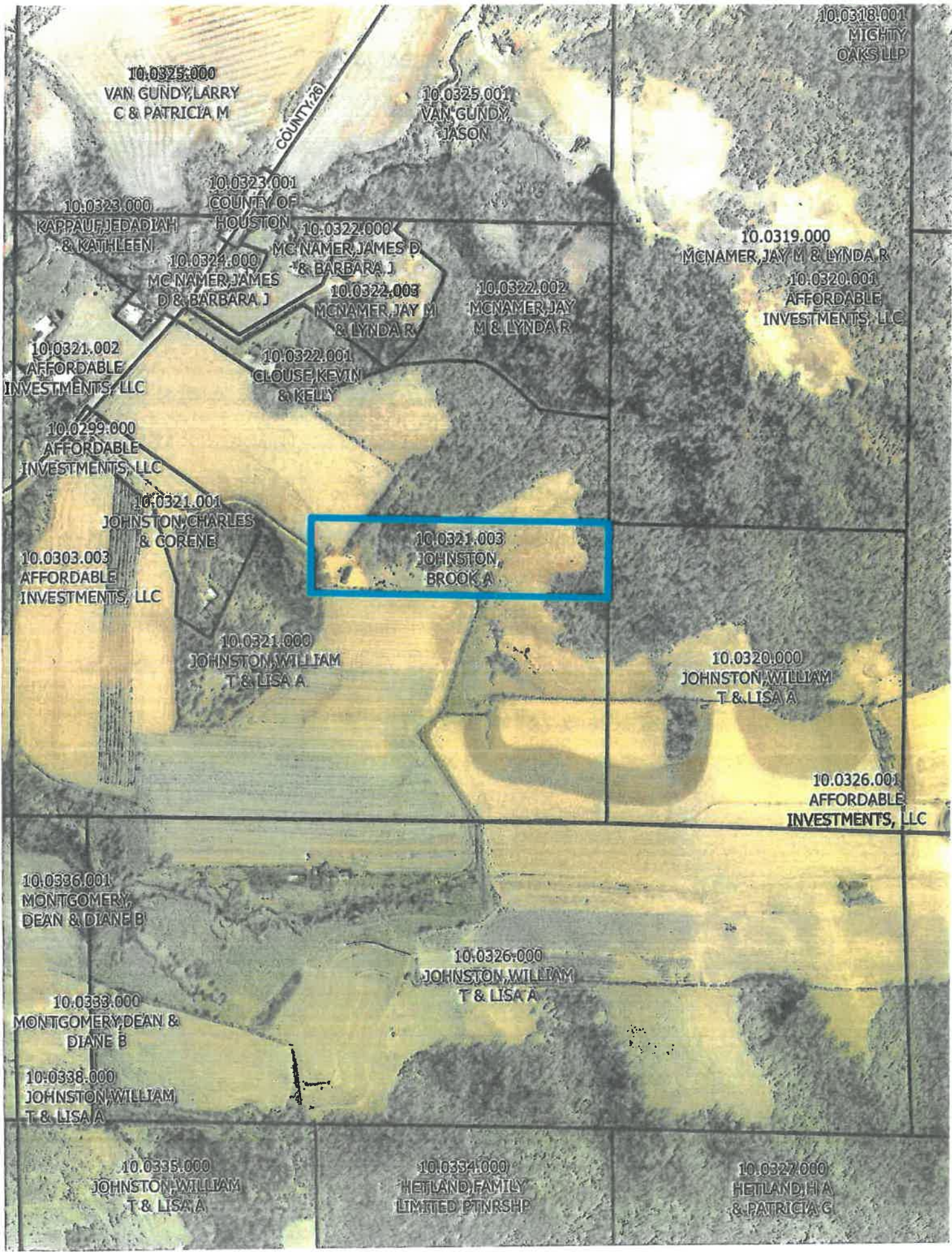
A hearing on this application will be held at the Houston County Commissioner's Room, City of Caledonia, Minnesota at 6:20 p.m. on Thursday, May 22, 2025.

All persons having an interest in the matter may attend the hearing or submit comments relative to the granting or denying of said application. Comments should be mailed to the Environmental Services Dept., 304 South Marshall Street – Room 209, Caledonia, MN 55921, or emailed to amelia.meiners@co.houston.mn.us, and must be received by Tuesday, May 13, 2025 to be included for review prior to the hearing. All comments are considered public record.

HOUSTON COUNTY PLANNING COMMISSION

By Amelia Meiners
Zoning Administration

ADV: May 7, 2025



10.0318.001
MIGHTY
OAKS LLP

10.0325.000
VAN GUNDY, LARRY
C & PATRICIA M

10.0325.001
VAN GUNDY,
JASON

10.0323.001
COUNTY OF
HOUSTON

10.0323.000
KAPPAUF, JEDADIAH
& KATHLEEN

10.0322.000
MCNAMER, JAMES D
& BARBARA J

10.0324.000
MCNAMER, JAMES
D & BARBARA J

10.0322.003
MCNAMER, JAY M
& LYNDA R

10.0322.002
MCNAMER, JAY
M & LYNDA R

10.0319.000
MCNAMER, JAY M & LYNDA R

10.0320.001
AFFORDABLE
INVESTMENTS, LLC

10.0321.002
AFFORDABLE
INVESTMENTS, LLC

10.0322.001
CLOUSE, KEVIN
& KELLY

10.0299.000
AFFORDABLE
INVESTMENTS, LLC

10.0321.001
JOHNSTON, CHARLES
& CORENE

10.0303.003
AFFORDABLE
INVESTMENTS, LLC

10.0321.003
JOHNSTON,
BROOK A

10.0321.000
JOHNSTON, WILLIAM
T & LISA A

10.0320.000
JOHNSTON, WILLIAM
T & LISA A

10.0326.001
AFFORDABLE
INVESTMENTS, LLC

10.0336.001
MONTGOMERY,
DEAN & DIANE B

10.0326.000
JOHNSTON, WILLIAM
T & LISA A

10.0333.000
MONTGOMERY, DEAN &
DIANE B

10.0338.000
JOHNSTON, WILLIAM
T & LISA A

10.0335.000
JOHNSTON, WILLIAM
T & LISA A

10.0334.000
HETLAND, FAMILY
LIMITED PARTNERSHIP

10.0327.000
HETLAND, H A
& PATRICIA G



HOUSTON COUNTY ENVIRONMENTAL SERVICES

Solid Waste • Recycling • Zoning

304 South Marshall Street – Room 209, Caledonia, MN 55921

Phone: (507) 725-5800 • Fax: (507) 725-5590



STAFF REPORT

5/14/2025

Application Date: 4/30/2025
Hearing Date: 5/22/2025
Petitioner: Brooke Johnston
Reviewer: Amelia Meiners
Zoning: Ag Protection
Address: 17175 County 26
Township: Money Creek
Parcel Number: 10.0321.003
Submitted Materials: CUP Application

OVERVIEW

REQUEST

The applicant is seeking a conditional use permit to build a dwelling on less than 40 acres in the agricultural protection district.

SUMMARY OF NOTEWORTHY TOPICS

This is a ten-acre parcel off County 26 in Money Creek Township that was created in 2022. The dwelling was permitted as a farm dwelling (dwelling on more than 40 acres) in July 2022 and land records show that the property was split in September 2022. A ten-acre parcel would have required a conditional use permit had this been done prior to the building permit issuance. The ordinance requires that at least ten years must pass before farm dwellings can be split into parcels under 40-acres in size and permitting actions are what bring this to the attention of the Zoning Office. In this instance, the applicant recently submitted an application for an attached garage. This area appears to have been pasture prior to the site development and meets the standards for a non-farm dwelling.

The Houston County Zoning Ordinance (HCZO) 14.3 subd.1 (10) requires the following:

(10) Dwellings. Single-family non-farm dwellings subject to the following:

- (a) No more than one (1) dwelling per quarter-quarter section.*
- (b) Non-farm dwellings built after the adoption of this Ordinance shall be setback at least one-fourth, (1/4), mile from all feedlots, except as otherwise provided in this Ordinance.*
- (c) Non-farm dwelling units shall not be permitted on land which is of soil classifications of Class I-III soils rated in the Soil Survey - Houston County by the U. S. D. A. Natural Resource Conservation Service, except in cases where the land has not been used for the production of field crops or*

enrolled in a government program whereby compensation is received in exchange for the removal of an area from production, for a period of ten years or more.

(d) Non-farm dwelling units shall only be permitted on sites considered Buildable Lots as defined by this Ordinance, and shall not be permitted in areas classified wetlands, flood plain, peat and muck areas and other areas of poor drainage. Non-farm dwelling units shall not be permitted on land which has a slope of twenty-four (24) percent or greater. All non-farm dwellings must have an erosion control plan as required by Section 24.

(e) Non-farm dwelling units shall be required to be located on lots having ownership of at least thirty-three (33) feet of road frontage on a public roadway or a legally recorded perpetual access at least thirty-three (33) feet wide from an existing public roadway and a minimum lot area of one (1) acre.

Further, the applicant should understand the purpose of the agricultural protection district is to retain land for agricultural production and the regulations are intended to minimize incompatibility between these residential and ag uses.

SECTION 14 - AGRICULTURAL PROTECTION DISTRICT

14.1 PURPOSE AND PUBLIC NOTICE

Subdivision 1. Purpose. *The purpose of the Agricultural Protection District is to provide a district that will:*

- (1) Retain, conserve, and enhance agricultural land in the County for agricultural uses.*
- (2) Protect and preserve natural resources and environmentally sensitive areas.*
- (3) Restrict scattered non-farm residential development in order to minimize incompatibility between agricultural uses and residential use, and to conserve the expenditure of public funds for new roads, road maintenance, schools, police and fire protection necessary to service scattered residential development.*

Subdivision 2. Public Notice. *Persons choosing to reside in the Agricultural Protection District are hereby notified that the agricultural district is a zoning district in which land is used principally and foremost for agricultural production.*

Subdivision 3. Discomfort Resulting From Agricultural Uses. *Owners, residents, and other uses of property in the Agricultural Protection District or neighboring properties may be subjected to inconvenience or discomfort arising from normal and accepted agricultural practices and operation, including but not limited to the following:*

- (1) Noise, odors, dust, and hours of operation.*
- (2) The operation of machinery, including aircraft.*
- (3) The production, storage and land application of animal manure.*
- (4) The application of fertilizers, soil amendments, herbicides, and pesticides.*

Owners, residents, and users of property in the Agricultural Protection District, or neighboring property should be prepared to accept such inconveniences or discomfort as they occur from agricultural uses and are hereby notified that this declaration may prevent them from obtaining a legal judgment against such agricultural uses

TOWNSHIP AND NEIGHBORHOOD COMMENTS

Money Creek Township and the ten nearest property owners were notified. No comments were received.

SITE CHARACTERISTICS

The SE ¼ SW ¼ of Section 8 is an open quarter-quarter with adequate road frontage and an existing driveway easement that meets requirements. A non-farm dwelling cannot be located on prime agricultural soil, but the soils here are 143E2 and a small portion of 388D2, which are VIe and IVe respectively. The septic system was permitted that same year. There is no floodplain, wetland, shoreland, or bluff concern. The

closest stream is Campbell Creek, approximately 1,450 feet to the west and the closest intermittent stream is approximately 1,400 feet to the south. Slopes at the building site are 15-23% and it meets the buildable lot standard. The surrounding property is still owned by her parents, William and Lisa Johnston.



Figure 1. Existing dwelling location.

EVALUATION

Section 11.05 of the Houston County Zoning Ordinance requires the following:

Subdivision 1. Findings. The Planning Commission shall not recommend a conditional use permit unless they find the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Land Use Plan makes numerous references to preserving prime agricultural land and the fact that non-farm dwellings are only allowed on marginal ground promotes this goal.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The applicant initially permitted this as a farm dwelling which met the requirement at that time, but a property split now requires this to be a conditional use. To permit an attached garage the property needs to be brought into compliance.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: The largest pollution potential with single family dwellings is adequate treatment of septage, but a septic system has been installed and inspected.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: The addition of an attached garage to the existing dwelling should not adversely increase the quantity of water runoff.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: The Soil Survey – Houston County identifies slope as the main limitation for building sites on 143E2 soils due to it requiring extensive land shaping and recommends that the building be designed to conform to the natural slope of the land.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: Adequate treatment of septage is likely the biggest potential pollution hazard, but a septic system meeting minimum state requirements has been installed.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: This is an existing developed site, so utilities are present. If any new installations are necessary, all costs are the responsibility of the applicant.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: There is sufficient off-street parking to accommodate typical residential use.

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: The dwelling is existing at this point so there should be no additional impact to surrounding property owners. The primary use of the surrounding acreage is agricultural and currently belongs to family.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The surrounding predominant use is agricultural fields. This dwelling meets the density standard and will not impact surrounding agriculture. Orderly development meeting standards can still take place.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: N/A

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: This request meets the required agricultural protection district density limitations.

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: A non-farm dwelling with properly the public's health, safety, morals and general welfare.

RECOMMENDATION

The Planning Commission must consider the criteria above. Should the permit be granted, staff recommend requiring the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.

Proposed motion: Recommend granting of a Conditional Use Permit for a single-family dwelling on under 40 acres with the two conditions.

Conditional Use
Request
2025-CUP-413263
Applicant
BrookeJohnston
Amount Paid
\$0.00
Created
April 29, 2025

Number
2025-CUP-
413263

JOHNSTON,BROOK A |
100321003 | Money Creek
Submitted by BrookeJohnston
on 4/29/2025



Applicant

BrookeJohnston

bajohnston13@gmail.com

Search Parcel Data Completed On Tuesday, April 29, 2025 at 11:55 AM CDT by BrookeJohnston

ParcelID	Address	City	OwnerName	Acres
100321003	17175 COUNTY 26	HOUSTON	JOHNSTON,BROOK A	10.000

CONDITIONAL USE INTRO Completed On Tuesday, April 29, 2025 at 11:56 AM CDT by BrookeJohnston

A Conditional Use is a land use or development that would not be appropriate generally but may be allowed with appropriate restrictions as provided by official controls upon a finding that specific criteria are met, as outlined in Section 6.5 of the ordinance.

When submitting an application, the information requested in this form is required. You may be asked to provide additional information as deemed necessary by the Zoning Office, the Planning Commission, or the County Board.

A non-refundable application fee and recording fee are required before an application is considered complete.

Prior to completing this form, a pre-application meeting with County Zoning is strongly recommended.

Application Fee:

Conditional Use Application Fee

\$700.00

Recording Fee:

Recording Fee

\$46.00

Application Type:

Conditional Use

APPLICANT INFORMATION Completed On Tuesday, April 29, 2025 at 11:57 AM CDT by BrookeJohnston

Applicant Name

JOHNSTON,BROOK A

Parcel Tax ID

100321003

Telephone Number

1(507)450-5267

Address

17175 COUNTY 26

City

HOUSTON

Zip

55943

Legal Description

10.00 AC N1/2 N1/2 SE1/4 SW1/4

Section-Township-Range

08-104-006

Do you own additional adjacent parcels

No

Township of:

Money Creek

Applicants are required to inform township boards of their application. Please reference the table below and contact the official for your township.

I understand I am required to inform my township of my application.

Yes

Township Contacts

TOWNSHIP	NAME	PHONE
Black Hammer	Clayton Johnson	507-450-6384
Brownsville	Christine Novak	507-459-0636
Caledonia	Judith Massman	507-458-3294
Crooked Creek	David Winnes	507-542-4515
Hokah	Delayne Vogel	608-397-6516
Houston	John Beckman	507-429-1745
Jefferson	Anne Falken	320-493-8629
La Crescent	Jason Wieser	507-429-0133
Mayville	Erin Hammell	608-225-1830
Money Creek	Paul Ledebuhr	507-458-7973
Mound Prairie	Colleen Tracy	507-459-3573
Sheldon	Wayne Runningen	507-450-0065
Spring Grove	Mike Wiste	507-450-4638
Union	Craig Frederick	608-769-9541
Wilmington	Melissa Schroeder	608-780-3998
Winnebago	Luke King	507-725-8816

Winnebago Joyce Staggemeyer 507-542-4637
Yucatan Deb Dewey 507-896-3566

SUBMITTED BY APPLICANT

8

CONDITIONAL USE REQUEST Completed On Tuesday, April 29, 2025 at 12:18 PM CDT by Brooke Johnston

[Click here to view the Houston County Zoning Ordinance](#)

Describe in detail your request.

Building a garage attached to house.

Citation of Ordinance Section from which the Conditional Use is requested:

14.3 subdivision 1

Requested Dimension:

30 feet by 40 feet

Please upload any supporting documents:

CONDITIONAL USE FINDING OF FACTS Completed On Tuesday, April 29, 2025 at 12:41 PM CDT by Brooke Johnston

[Click here to view the Houston County Zoning Ordinance](#)

Findings Required:

The Planning Commission shall not recommend a Conditional Use Permit unless they find that the requirements below are satisfied. As the applicant, it is your responsibility to demonstrate that your proposal satisfies these requirements. For each of the 15 criteria, please select the appropriate response and provide a detailed explanation.

1. That the proposed use conforms to the County Land Use Plan.

Yes

Comments:

The plan is to build a garage which will not alter or disrupt normal function. The area for the garage was cleared 3 years ago when the house was built.

2. That the applicant demonstrates a need for the proposed use.

Yes

Comments:

A garage is needed to keep vehicles and other outdoor equipment safe from the elements.

3. That the proposed use will not degrade the water quality of the County.

Yes

Comments:

The proposed building will not degrade the water quality. This is just going to be a simple garage to store vehicles and should not impact the quality of the water.

4. That the proposed use will not adversely increase the quantity of water runoff.

Yes

Comments:

The garage will not adversely increase the quantity of the runoff. Again, it's just a simple garage and land work was done for it when the house was built. It was intended to go up with the house but funds ran out. ▲▼

5. That soil conditions are adequate to accommodate the proposed use.

Yes

Comments:

The garage is being built on the same poor agricultural soil as the house.

6. That potential pollution hazards have been addressed and standards have been met.

Yes

Comments:

We have looked at all the possible risks and hazards and believe there will be no issues as it was just going to be a 30'x40' structure with nothing else too it. ▲▼

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Yes

Comments:

The garage will be connected to the already existing driveway. ▲▼

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Yes

Comments:

This will not be an issue as the property has 10 acres to use. ▲▼

9. That adequate facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Yes

Comments:

This will not be an issue as it will be at the house site with ample room.

10. That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Yes

Comments:

The garage will not harm anyone in the area. If anything it will add curb appeal.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Yes

Comments:

Building the garage should in no way impact the normal or orderly development and improvement of surrounding vacant property for predominant uses in the area. The building site has been ready for three years with no impact therefore it shouldn't impact now.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Yes

Comments:

This should be no issue as it is far enough away from disrupting any neighbors and should not take long to build.

13. That the density of any proposed residential development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district

Yes

Comments:

Our garage will fit in with the desired zoning district as it is just a simple garage.

14. That the density of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable zoning district.

Yes

Comments:

Our garage will fit in with the desired zoning district as it is just a simple garage.

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Yes

Comments:

This will be no issue as it is building a simple garage for the house and the site is already prepared from when the house was built. There should be no extreme risks.

SITE PLAN INFORMATION Completed On Tuesday, April 29, 2025 at 12:58 PM CDT by BrookeJohnston

A site plan MUST accompany all Applications. You may either upload a drawing or use the interactive map below.

Upload Site Plan

IMG_0085.jpeg

SUBMITTED BY APPLICANT

Use the Interactive Map to Create a Site Plan. Map tools: Click the plus and minus buttons in the upper left of the map window, to zoom in/out. **11**
Navigation Mode - Scroll up to zoom in, scroll down to zoom out. Click and hold to pan around map. Text Mode - To place text on the map, click on the "Add Text" tool, click the place on the map where you would like the text to be displayed, then enter the text in the box that appears at the top of the screen, click ok to display the text on the map. Draw a point - Click once on the map where you would like the point to be. Draw a Line - Click once on map to start drawing a line, double click to stop drawing line. Draw a Polyline - Click once on map to start drawing a polygon, click map at each vertex and double click to finish polygon drawing. Draw a Rectangle - Click once on the map where you would like the rectangle to be. The rectangle will appear on the map. Click on the Select tool and click on the rectangle to resize (click an outside square and drag to resize), rotate (click, hold and drag the circle on top of the rectangle to rotate) or delete (click the rectangle and hit the delete button). Measure - Click once on map to start draw a line with a measurement, click map at each vertex and double click to finish drawing. If you double click near starting point area measurement will also be calculated. Undo Last Edit - Click tool to undo last drawing edit. Undo All Edits - Click tool to undo all drawing edits.

☐ Sketch Layer

☐ Reference Layer

☒ Mapproxy



Powered by Esri

Use the space below to include site plan comments, if necessary

It will just be the 30'x40' box with the 60' from property line according to beacon.

APPLICATION SUBMITTAL Completed On Tuesday, April 29, 2025 at 12:59 PM CDT by BrookeJohnston

By checking this box, I grant Houston County access to my property for the purpose of evaluating this application.

Yes

By checking this box, I certified that I have notified my town board of my application.

Yes

By checking this box, I certify that the information provided in this application is true and accurate to the best of my knowledge.

Yes

Signature

A handwritten signature in red ink, appearing to be 'B. Johnston', written over a horizontal line.

Date Signed:

4/29/2025

Check this box If Staff Signature on behalf of Applicant.

Email APPLICATION SUBMITTAL Completed On Tuesday, April 29, 2025 at 12:59 PM CDT by Brooke Johnston

RESEND EMAIL

Delivered on Tuesday, April 29, 2025 at 12:59 PM CDT

Options

Send to the applicant? Yes

Send to members of the following roles:

Zoning

County Board

Recipients

To:

jeremy.burt@co.houston.mn.us

michelle.burt@co.houston.mn.us

holly.felten@co.houston.mn.us

amelia.meiners@co.houston.mn.us

cindy.wright@co.houston.mn.us

eric.johnson@co.houston.mn.us

robert.schuldt@co.houston.mn.us

kurt.zehnder@co.houston.mn.us

bajohnston13@gmail.com

Subject: Parcel 100321003 Conditional Use Application Received

The information provided in your Conditional Use application has been received by the County. An application fee of \$700.00 payable to the Houston County Treasurer and a recording fee of \$46.00 payable to the Houston County Recorder are necessary to complete your application and are required before the application will be reviewed. Please send a separate check for each.

Houston County Planning and Zoning
304 S. Marshall Street, Room 209
Caledonia, MN 55921

Once payment is received your application will be reviewed and you will be contacted by staff if there are questions.

Please call 507-725-5800 or email amelia.meiners@co.houston.mn.us with any questions or concerns.

Number: 2025-CUP-413263

Workflow: Conditional Use Request

Description: JOHNSTON, BROOK A | 100321003 | Money Creek

Created On: 4/29/2025

[View Application](#)

External Notes

Documents

Internal Notes

Documents

Length:

358.4 feet



Finish

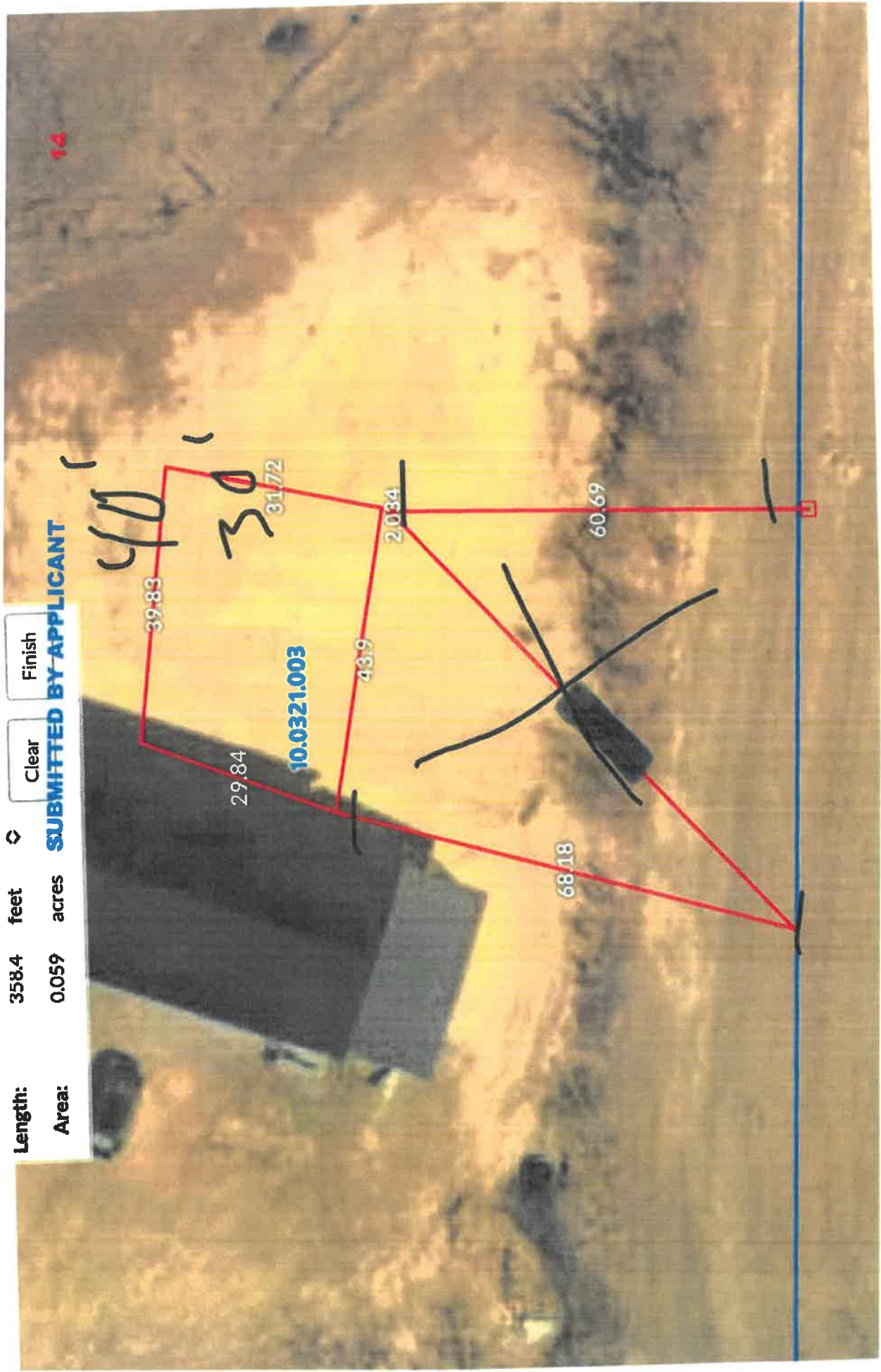
Clear

Area:

0.059 acres

SUBMITTED BY APPLICANT

14



Houston County Agenda Request Form

Date Submitted: 5/1/2025

Person requesting appointment with County Board: John Pugleasa, Director Human Services

Will you be doing a power point or video presentation: Yes X NO

Issue:

Guardianship contract -Clinton Brainard

Attachments/Documentation for the Board's Review:

Electronic copy for review, hard copy for signature

Justification:

Action Requested:

Approve and sign contract as presented

For County Use Only			
Reviewed by:	<u> </u> County Auditor	<u> </u> County Attorney	<u> </u> Zoning/Environmental Service
	<u> </u> Finance Director	<u> </u> County Engineer	<u> </u> HR/Personnel
	<u> </u> IS Director	<u> </u> Other (indicate dept)	<u> </u>
<u>Recommendation:</u>			
<u>Decision:</u>			

All agenda request forms must be submitted to the County Auditor by 4:00 p.m. on Monday in order to be considered for inclusion on the following week's agenda. The Board will review all requests and schedule appointments as appropriate.

PURCHASE OF SERVICE AGREEMENT

This Agreement made and entered into by and between the County of Houston, through its local social service agency, Houston County Human Services, 304 South Marshall Street, Room #104, Caledonia, MN 55921, referred to as "County" and **Clinton Brainard**, 23318 County Road 23, Eitzen, MN 55921 hereafter referred to as the "Provider".

WITNESSETH

WHEREAS, Houston County Human Services has identified a need for Guardianship/Conservator services for indigent persons who are impaired to the extent of lacking sufficient understanding or capacity to make personal decisions, and are unable to meet personal needs for medical care, nutrition, clothing, shelter, or safety, even with appropriate technological and supported decision-making assistance; and

WHEREAS, this is a mandated service under Minnesota Statute 524.5-101 to 524.5-903 and 252A.01 to 252A.21;

WHEREAS, County wishes to purchase such program services from the Provider;

NOW, THEREFORE, in consideration of the mutual understanding and agreements set forth, Houston County and Provider agree as follows:

1. Term

The term of this Agreement shall be from January 1, 2025 through December 31, 2026. Either party may cancel this Agreement, with or without cause, upon thirty (30) days written notice. Cancellation of this Agreement or expiration of the Agreement term shall not relieve County from paying for Provider's services for wards and protected persons that the Provider is court-appointed to serve, and whom are still eligible for services under this Agreement, before cancellation or termination, so long as Provider remains the court-appointed Guardian and/or Conservator.

2. Services:

- a. Pursuant to MN Statutes 256M (Vulnerable Children and Adults Act) and as further detailed in Attachment A to this Agreement, Houston County agrees to purchase, and Provider agrees to furnish the following services:

BRASS CODE

59500

69500

61600

51600

64800

SERVICE DESCRIPTION

Guardianship/Conservatorship (DD)

Guardianship/Conservatorship (Adult)

Transportation/Mileage (Adult)

Transportation/Mileage (DD)

Money Management

3. Eligibility for Services:

- a. Service eligibility will be determined according to the criteria established by Houston County.

- b. Services under this Agreement shall only be provided to clients meeting the criteria of indigent residents of Houston County.
 - c. County shall determine an indigent client AND the category of complexity shall be assigned by County after negotiation with the Provider. All new indigent cases that are not a medical emergency must be screened by County prior to start of service. Service level is subject to negotiation by Provider and County in the light of actual experience with the client and/or changing circumstances.
4. Cost and Delivery of Purchased Services:
See Attachment A for details.
5. Payment for Purchased Services:
- a. To receive payment, Provider shall, within ten (10) business days following the last day of each month, submit a county approved invoice for purchased services to County. The invoice shall show client name, address, case number, and a detailed listing of the service(s) provided.
 - b. County shall, within thirty-five (35) days of receipt of the invoice and summary sheet, make payment for all approved units of service. Provider will be contacted within the 35-day period for charges that are in a pending approval status.
 - c. Provider further acknowledges that bills must be current and timely. Provider acknowledges that there will be a reduction of 50% of the total amount billable, on bills submitted for payment more than 3 months after date of service.
6. Records
- a. Provider shall maintain such records and provide County with financial, statistical and service reports as County may require for accountability.
 - b. Per MN Statute 16C.05, Subd. 5, all records pertaining to this Agreement must be maintained for six (6) years at 23318 County Road 23, Eitzen, MN 55931.
 - c. Provider agrees to cooperate in evaluative and/or outcome efforts as required by County.
7. Independent Contractor
- a. Provider represents that it has, or will secure at its own expense, all personnel required in performing services under this Agreement. Any and all personnel of Provider or other persons, while engaged in the performance of any work or services required by Provider under this Agreement, shall have no contractual relationship with the county and shall not be considered employees of County, and any and all claims that may or might arise under the Unemployment Compensation Act or the Workers' Compensation Act of the State of Minnesota on behalf of said personnel arising out of employment or alleged employment including, without limitation, claims of discrimination against Provider, its officers, agents, contractors, or employees shall in no way be the responsibility of County; and Provider shall defend, indemnify, and hold County, its officers, agents, and

employees harmless from any and all such claims irrespective of any determination of any pertinent tribunal, agency, board, commission, or court. Such personnel or other persons shall neither require nor be entitled to any compensation, rights, or benefits of any kind whatsoever from County, including without limitation, tenure rights, medical and hospital care, sick and vacation leave, Workers' Compensation, Unemployment Insurance, disability, severance pay and PERA.

- b. It is agreed that nothing contained in the Agreement, including the payment provisions as specified above for the full term or any portion or extension of the contract period, is intended or should be construed as creating the relationship of co-partners, joint venturers, or an association with County. And nor shall Provider, its employees, agents, and representatives be considered employees, agents and representatives of County.

8. Provider Standards and Licenses

- a. Upon initial implementation of an Agreement with the Provider, Provider shall furnish County a background resume to include the following: professional and personal credentials for guardianship/conservatorship, a minimum of three personal/professional references, professional associations and/or accreditation of such, a current Minnesota driver's license in good standing.
- b. Provider will comply with all background check and background reporting requirements specified by County and courts. Provider agrees to inform Houston County of any change in address and/or violations that may affect background check results within 5 days of the occurrence.
- c. Provider shall comply with all applicable Federal and State statutes and regulations, as well as local ordinances and rules now in effect or hereafter adopted including Minnesota Statutes 524.5 et al.
- d. Other provisions for cancellation of this Agreement notwithstanding, failure to meet the requirements listed in this section may be cause for cancellation of this Agreement effective as of receipt of notice of cancellation.

9. Safeguard of Client Information:

Provider agrees to comply will all data privacy rules as governed by the Minnesota Data Practices Act, Minnesota Chapter 13, and the requirements of the Health Insurance Portability and Accountability Act of 1996 and its implementing regulations (45 C.F.R. Part 160-164).

10. Indemnification:

- a. Provider does hereby agree that it will defend, indemnify, and hold harmless County, its elected officials, employees and agents against any and all liability, loss, damages, costs and expenses (including reasonable attorney's fees and costs of defense) which County may hereafter sustain, incur, or be required to pay:
 - 1) By reason of any client and any client's personal caregiver suffering bodily or personal injury, death, or property loss or damage either while participating in or

receiving services to be furnished under this Agreement, or while on premises owned, leased, or operated by the Provider, or while being transported to or from said premises in any vehicle owned, operated, leased, chartered, or otherwise contracted for by the Provider or any officer, agent, or employee thereof; or

- 2) By reason of any client causing injury to, or damage to, the property of another person, during any time when the Provider or any officer, agent, or employee thereof has undertaken or is furnishing the services called for under this Agreement.
 - 3) Any actual or alleged violation of any applicable statute, ordinance, administrative order, rule or regulation, or decree of any court by Provider related to services furnished to client pursuant to this Agreement.
- b. This indemnity provision shall survive the termination or expiration of this Agreement. Nothing herein shall be construed to limit County from asserting against third parties any defenses or immunities (including common law, statutory and constitutional) it may have or be construed to create a basis for a claim or suit when none would otherwise exist.

THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK

IN WITNESS WHEREOF, Houston County and Provider have executed this Agreement as of the day and year first written above.

CLINTON BRAINARD

BY: Clinton Brainard

DATED: 4-17-25

Clinton Brainard

Approved as to Form and Execution:

BY: _____

DATED: _____

Houston County Attorney

BY: _____

DATED: _____

Chairperson
Houston County Board of Commissioners

BY: John Puleasa

DATED: 1/27/2025

John Puleasa, Director
Houston County Human Services

Houston County's Conservatorship and Guardianship Service Definition

A guardian or conservator:

- Has only those powers necessary to provide for the demonstrated needs of the ward or protected person.
- Is responsible for protecting the rights of ward or protected person.
- Is the court-appointed decision maker for the ward or protected person.
- Should involve the ward or protected person (and other interdisciplinary team members if applicable) in the decision-making process but is ultimately responsible for making decisions that promote the health, safety and personal well-being of the ward or protected person.

Duties for Guardian/Conservators:

- Minimum of two (2) face-to-face visits with client per year, more frequent visits and communication by other means is encouraged.
- Sign consents and other necessary paperwork
- Complete financial applications as needed
- Complete any required correspondence
- Make court appearances on behalf of client as needed
- Attend Care Conference, annual meetings, ISP and IHP meetings on client's behalf
- Communicate with interdisciplinary team members regarding decisions made

Conservator:

- Pay monthly bills and service other financial responsibilities
- Establish and manage appropriate checking, savings and other accounts
- File annual accounting with the court(s).

Guardian:

- Coordinate general living support services
- Coordinate housing upkeep and repair if needed
- Ensure general living and health needs are adequately met
- File annual well-being report to court(s).

General:

- Remain current on trends and procedures of Conservatorship and Guardianship
- Submit monthly bills and contact notes to Houston County

Rates:

\$138.00 per month for guardian services

\$138.00 per month for conservator services

\$276.00 per month if both guardian and conservator

This rate includes mileage. Any mileage reimbursement or travel time must be pre-approved by a County Case Manager. Mileage will be reimbursed at the current IRS mileage rate.

Service Arrangements:

Individual Service Arrangements will authorize the amount and frequency of service to be provided to each client. Provider cannot exceed the authorized amount of service to be provided without having received prior approval from the involved County worker, or designee, to do so.

Billing:

- Time should be billed monthly.
- If the ward/conservatee has a monthly income and is:
 - 1) Receiving Minnesota Supplemental Aid (MSA) and not residing in Nursing Home or Regional Treatment Center or
 - 2) Receives Housing Support (GRH) benefits or
 - 3) Receiving Medical Assistance (MA) Payments for Long-Term Care (LTC) Services, Provider shall deduct 5% of the ward/conservatee's gross monthly income for conservator/guardian fees up to a maximum of \$100.00 per month. This amount must then be deducted from the indicated County payment amount. If the amount obtained from income exceeds County payment amount, there will be no County payment to Provider.
- Bills and associated contact notes should be submitted to a Human Services Case Manager on a monthly basis.
- While monthly billing is expected, if for some reason monthly billing is not possible, they must be submitted quarterly.
- Provider must meet "end of the year" budget deadlines to be paid for December.

**HOUSTON COUNTY
AGENDA REQUEST FORM
May 27, 2025**

Date Submitted: 05/22/2025

By: Brent Parker, Human Resources Officer

ACTION

Consider approving Memorandum of Agreement with the American Federation of State, County, and Municipal Employees, AFL-CIO Local Union No. 2166, Council 65 for revisions to the 2025-2027 Collective Bargaining Agreement. Including the job titles of County Attorney Administrative Legal Assistant, Network Administrator, and Network/Help Desk Technician in the definition of the bargaining unit currently represented by the Union.

APPOINTMENT REQUEST

HR CONSENT AGENDA REQUEST

<u>Reviewed by:</u>	<div style="display: flex; justify-content: space-between;"><div><div><input type="checkbox"/></div><div>HR Director</div></div><div><div><input type="checkbox"/></div><div>Finance Director</div></div><div><div><input checked="" type="checkbox"/></div><div>IS Director</div></div><div><div><input checked="" type="checkbox"/></div><div>County Attorney</div></div><div><div><input type="checkbox"/></div><div>Environmental Svcs</div></div></div> <div style="width: 30%; vertical-align: top;"><div><div><input type="checkbox"/></div><div>Sheriff</div></div><div><div><input type="checkbox"/></div><div>Engineer</div></div><div><div><input type="checkbox"/></div><div>PHHS</div></div><div><div><input type="checkbox"/></div><div>(indicate other dept)</div></div></div>
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**HOUSTON COUNTY
AGENDA REQUEST FORM
May 27, 2025**

Date Submitted: 05/22/2025

By: Brent Parker, Human Resources Officer

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The County of Houston ("County") and the American Federation of State, County, and Municipal Employees, AFL-CIO Local Union No. 2166, Council 65 ("Union") hereby enter into this Memorandum of Agreement ("MOA") to agree to revisions to the 2025-2027 Collective Bargaining Agreement ("CBA") between the parties.

WHEREAS, Article II, A, of the CBA the County recognizes the Union as the exclusive representative for the purpose of collective bargaining in the appropriate unit composed of: "All employees of the County of Houston, Caledonia, Minnesota, whose employment service exceeds the lesser of fourteen (14) hours per week or thirty-five (35) percent of the normal work week, and who are not seasonal employees as defined by Minnesota Statutes 179A.03, Subd. 14, excluding employees of the County Attorney's Office (except the Victim Services Coordinator), Highway Department (except clerical employees), County Extension Service (except clerical employees), essential employees of the Sheriff's Department (except clerical employees), and managerial-supervisory and confidential employees;"

WHEREAS, on March 14, 2025, the Union and the County jointly petitioned the Minnesota Bureau of Mediation Services requesting clarification of certain employees of the County falling within the appropriate bargaining unit currently represented by the Union to include the job titles of County Attorney Administrative Legal Assistant, Network Administrator, and Network/Help Desk Technician in the definition of the bargaining unit currently represented by the Union;

WHEREAS, on April 7, 2025, the Commissioner of the Minnesota Bureau of Mediation Services issued a Unit Clarification Order, BMS Case No. 25PCL1071, finding the agreement of the parties to be appropriate;

WHEREAS, on April 7, 2025, the Commissioner of the Minnesota Bureau of Mediation Services issued Unit Clarification Order, BMS Case No. 25PCL1071, and included the classifications of County Attorney Administrative Legal Assistant, Network Administrator, and Network/Help Desk Technician in the bargaining unit currently represented by the Union and amended the recognition language of Article II, A, of the CBA to be, "All employees of Houston County, Caledonia, Minnesota, who are public employees within the meaning of Minn. Stat. 179A.03, subd. 14, excluding non-clerical employees of the Highway Department, Soil Conservation Service employees, non-clerical County Extension Service employees, essential Sheriff's Department employees, and supervisory and confidential employees within the meaning of Minn. Stat. 179A.03, subd. 17 and 4."

WHEREAS, the negotiations that resulted in the 2025-2027 CBA had concluded prior to the parties ability to address the language of Article II, A, of the CBA and the Minnesota Bureau of Mediation Services Unit Clarification Order; and

WHEREAS, the Union and the County have an interest in maintaining consistency and uniformity between the bargaining unit definitions in Article II, A, of the CBA and those ordered by the Commissioner of the Minnesota Bureau of Mediation Services;

NOW THEREFORE, the County and the Union agree as follows:

1. Article II, A, of the CBA will reflect in all ways the Unit Determination Order of the Commissioner of the Minnesota Bureau of Mediation Services, BMS Case No. 25PCL1071, and the definition of the appropriate unit will be amended to read: "All employees of Houston County, Caledonia, Minnesota, who are public employees within the meaning of Minn. Stat. 179A.03, subd. 14, excluding non-clerical employees of the Highway Department, Soil Conservation Service employees, non-clerical County Extension Service employees, essential Sheriff's Department employees, and supervisory and confidential employees within the meaning of Minn. Stat. 179A.03, subd. 17 and 4."
2. During the next negotiations between the parties for a new CBA, the parties agree to adopt the amended language of the Commissioner of the Minnesota Bureau of Mediation Services Unit Determination Order, BMS Case No. 25PCL1071, into the CBA; and
3. This MOA reflects the entire agreement between the parties regarding the modification of the 2025-2027 CBA. No changes in this MOA are valid unless they are in writing and signed by both parties.

IN WITNESS WHEREOF, the parties have entered into this MOA on the dates shown by their signatures.

FOR THE COUNTY:

Date: _____ by _____
Carol Lapham, Interim County Administrator

Date: _____ by _____
Suzanne Bublitz, County Attorney

FOR THE UNION:

Date: _____ by _____
Kelly Preston, President AFSCME Local 2166

Date: _____ by _____
Ryan Hanson, Labor Relations Representative

Commissioner Warrants 2025/05/27

Lynn Colsch

Thu 5/22/2025 12:37 PM

To:Houston County BOC <BOC@co.houston.mn.us>;

REQUEST APPROVAL FOR PAYMENT

2025/05/27 COMMISSIONER'S WARRANTS:

VENDOR NAME	AMOUNT
AVFUEL CORPORATION	6,997.71
BOLTON & MENK INC	8,100.00
DS ERICKSON & ASSOCIATES PLLC	2,422.08
LIBERTY TIRE RECYCLING LLC	3,399.75
THIN LINE OUTFITTERS OF WISCONSIN	2,689.00
	23,608.54
24 VENDORS PAID LESS THAN \$2000.00	13,415.60
	37,024.14
PUBLIC HEALTH & HUMAN SERVICES	1,266.23
	38,290.37

Lynn Colsch
Finance Clerk
Houston County
304 South Marshall Street
Caledonia MN 55921

Phone 507-725-5825

CRITERIA FOR GRANTING CONDITIONAL USE PERMITS

NAME OF APPLICANT: James and Suzanna Gulbranson DATE: May 22, 2025

C.U.P. REQUESTED: To build a dwelling on less than 40 acres in the agricultural protection district.

The Planning Commission shall not recommend a conditional use permit unless they find the following:

FINDINGS OF FACT

Section 11.05 of the Houston County Zoning Ordinance requires the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Land Use Plan makes numerous references to preserving prime agricultural land and the fact that non-farm dwellings are only allowed on marginal ground promotes this goal.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The applicants would like to build a place outside of city limits for recreational use.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: The largest pollution potential with single family dwellings is adequate treatment of seepage. The applicants identified that they do not intend to initially have running water within the structure, but once that happens then a septic system is required. If that is not done during the initial construction phase it is incumbent on the applicants to address that need when the time comes. In the interim, the applicants need to have an approved method of treatment (i.e. portable toilet) to handle any waste while on site.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	

Johnathon Glasspoole	X
Josh Gran	X
Franklin Hahn	X
Chase Munson	X
Eric Johnson	X

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: A small dwelling should not adversely increase the quantity of water runoff.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: The Soil Survey – Houston County identifies the main concern for these soil types as structural damage caused by the shrinking and swelling of the soil, but buildings can be constructed provided they use adequate backfill with suitable coarse material around foundations and footings.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: Adequate treatment of septage is likely the biggest potential pollution hazard and a method of treatment meeting minimum state requirements is required. Additionally, careful adherence to the erosion control plan during and after construction will also mitigate any runoff concerns.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: The erosion control plan approved driveway construction and any new utility installations and costs are the responsibility of the applicant. The driveway access must be approved by Spring Grove Township.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: There is sufficient off-street parking to accommodate typical residential use.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: The surrounding uses are agricultural fields, farm and non-farm dwellings and a bed and breakfast. This dwelling location is on the northern end of the parcel which is setback from developed areas of other properties and should help to keep the existing feel of the vicinity.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The primary uses of the surrounding acreages are agricultural, residential and commercial. This dwelling meets the density standard and most surrounding property has already been developed per the agricultural protection districts density requirements.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: N/A

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: This request meets the required agricultural protection district density limitations.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: A non-farm dwelling with proper treatment of septage should have no impact on the public's health, safety, morals and general welfare.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

Josh Gran made a motion to accept the findings as presented. Franklin Hahn seconded. A roll call vote was taken. Motion passed five to one.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	
Johnathon Glasspoole	X		
Josh Gran	X		
Franklin Hahn	X		
Chase Munson	X		
Eric Johnson	X		

Josh Gran made a motion to recommend the Houston County Board approve a Conditional Use application for a single-family dwelling on under 40 acres with the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.
3. The Permittee shall use an approved method of treatment for the handling of septage that meets minimum state requirements.
4. This can only be used as a single-family dwelling.

Johnathon Glasspoole seconded. A roll call vote was taken. Motion passed five to one.

	<u>YES</u>	<u>NO</u>	<u>COMMENTS</u>
Wayne Feldmeier		X	Neighbor moved in next to him and filled 40 acres to stay 2-3 weeks out of the year.
Johnathon Glasspoole	X		
Josh Gran	X		Agreed with statement by Franklin Hahn.
Franklin Hahn	X		We do not go into legality of situation. Decision is based on Zoning Ordinance.
Chase Munson	X		Agreed with statement by Franklin Hahn.
Eric Johnson	X		Agreed with statement by Franklin Hahn.

CRITERIA FOR GRANTING CONDITIONAL USE PERMITS

NAME OF APPLICANT: Brooke Johnston DATE: May 22, 2025

C.U.P. REQUESTED: To build a dwelling on less than 40 acres in the agricultural protection district.

The Planning Commission shall not recommend a conditional use permit unless they find the following:

FINDINGS OF FACT

Section 11.05 of the Houston County Zoning Ordinance requires the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Land Use Plan makes numerous references to preserving prime agricultural land and the fact that non-farm dwellings are only allowed on marginal ground promotes this goal.

Board agreed to the finding by a unanimous vote.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The applicant initially permitted this as a farm dwelling which met the requirement at that time, but a property split now requires this to be a conditional use. To permit an attached garage the property needs to be brought into compliance.

Board agreed to the finding by a unanimous vote.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: The largest pollution potential with single family dwellings is adequate treatment of seepage, but a septic system has been installed and inspected.

Board agreed to the finding by a unanimous vote.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: The addition of an attached garage to the existing dwelling should not adversely increase the quantity of water runoff.

Board agreed to the finding by a unanimous vote.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: The Soil Survey – Houston County identifies slope as the main limitation for building sites on 143E2 soils due to it requiring extensive land shaping and recommends that the building be designed to conform to the natural slope of the land.

Board agreed to the finding by a unanimous vote.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: Adequate treatment of septage is likely the biggest potential pollution hazard, but a septic system meeting minimum state requirements has been installed.

Board agreed to the finding by a unanimous vote.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: This is an existing developed site, so utilities are present. If any new installations are necessary, all costs are the responsibility of the applicant.

Board agreed to the finding by a unanimous vote.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: There is sufficient off-street parking to accommodate typical residential use.

Board agreed to the finding by a unanimous vote.

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: The dwelling is existing at this point so there should be no additional impact to surrounding property owners. The primary use of the surrounding acreage is agricultural and currently belongs to family.

Board agreed to the finding by a unanimous vote.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The surrounding predominant use is agricultural fields. This dwelling meets the density standard and will not impact surrounding agriculture. Orderly development meeting standards can still take place.

Board agreed to the finding by a unanimous vote.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: N/A

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: This request meets the required agricultural protection district density limitations.

Board agreed to the finding by a unanimous vote.

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: A non-farm dwelling with properly the public's health, safety, morals and general welfare.

Board agreed to the finding by a unanimous vote.

Franklin Hahn made a motion to accept the findings as presented. Eric Johnson seconded. All were in favor. Motion carried.

Franklin Hahn made a motion to recommend the Houston County Board approve a Conditional Use application for a single-family dwelling on under 40 acres with the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.

Josh Gran seconded. A roll call vote was taken. All were in favor. Motion carried.

CRITERIA FOR GRANTING CONDITIONAL USE PERMITS

NAME OF APPLICANT: **Luke and Miranda Schuttenhelm** DATE: **May 22, 2025**

C.U.P. REQUESTED: **To build a dwelling on less than 40 acres in the agricultural protection district.**

The Planning Commission shall not recommend a conditional use permit unless they find the following:

FINDINGS OF FACT

Section 11.05 of the Houston County Zoning Ordinance requires the following:

1. That the proposed use conforms to the County Land Use Plan.

Staff Analysis: The Land Use Plan makes numerous references to preserving prime agricultural land and the fact that non-farm dwellings are only allowed on marginal ground promotes this goal.

Board agreed to the finding by a unanimous vote.

2. That the applicant demonstrates a need for the proposed use.

Staff Analysis: The applicants are looking to construct a dwelling on the family farm.

Board agreed to the finding by a unanimous vote.

3. That the proposed use will not degrade the water quality of the County.

Staff Analysis: The largest pollution potential with single family dwellings is adequate treatment of septage, but a septic system will be permitted and installed according to code. A septic designer has been on site and located two type I locations.

Board agreed to the finding by a unanimous vote.

4. That the proposed use will not adversely increase the quantity of water runoff.

Staff Analysis: The applicant will need to meet all requirements of their erosion control plan to address any runoff concerns before, during and after construction, but the addition of a single-family dwelling should not adversely increase the quantity of water runoff.

Board agreed to the finding by a unanimous vote.

5. That soil conditions are adequate to accommodate the proposed use.

Staff Analysis: The Soil Survey – Houston County identifies slope as the main limitation for building sites on 599E2 soils due to it requiring extensive land shaping and recommends that the building be designed to conform to the natural slope of the land.

Board agreed to the finding by a unanimous vote.

6. That potential pollution hazards have been addressed and that standards have been met.

Staff Analysis: Adequate treatment of septage is likely the biggest potential pollution hazard, but a septic designer has determined that a system meeting state standards can be installed.

Board agreed to the finding by a unanimous vote.

7. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Staff Analysis: This is a new building site so new utility installations are necessary and all costs are the responsibility of the applicant. Access roads and drainage modifications will need to meet erosion control plan requirements.

Board agreed to the finding by a unanimous vote.

8. That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Staff Analysis: There is sufficient off-street parking to accommodate typical residential use.

Board agreed to the finding by a unanimous vote.

9. That facilities are provided to eliminate any traffic congestion or traffic hazard which may result from the proposed use.

Staff Analysis: N/A

10. That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

Staff Analysis: The primary use of the surrounding acreage is agricultural and the addition of a single-family dwelling will not impact that use.

Board agreed to the finding by a unanimous vote.

11. That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area.

Staff Analysis: The surrounding predominant use is agricultural fields. This dwelling meets the density standard and will not impact surrounding agriculture. Orderly development meeting standards can still take place.

Board agreed to the finding by a unanimous vote.

12. That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Staff Analysis: N/A

13. That the density of any proposed residential development is not greater than the density of the surrounding neighborhood or not greater than the density indicated by the applicable Zoning District.

Staff Analysis: This request meets the required agricultural protection district density limitations.

Board agreed to the finding by a unanimous vote.

14. That the intensity of any proposed commercial or industrial development is not greater than the intensity of the surrounding uses or not greater than the intensity characteristic of the applicable Zoning District.

Staff Analysis: N/A

15. That site specific conditions and such other conditions are established as required for the protection of the public's health, safety, morals, and general welfare.

Staff Analysis: A non-farm dwelling should not negatively affect the public's health, safety, morals and general welfare if constructed according to the approved erosion control plan and septic design requirements.

Board agreed to the finding by a unanimous vote.

Josh Gran made a motion to accept the findings as presented. Johnathon Glasspoole seconded. All were in favor. Motion carried.

Josh Gran made a motion to recommend the Houston County Board approve a Conditional Use application for a single-family dwelling on under 40 acres with the following conditions:

1. The Permittee shall comply with all federal, state, and local laws and regulations.
2. The County may enter onto the premises at reasonable times and in a reasonable manner to ensure the permit holder is in compliance with the conditions and all other applicable statutes, rules, and ordinances.

Wayne Feldmeier seconded. A roll call vote was taken. All were in favor. Motion carried.